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PLANNING COMMITTEE

Thursday, 29th January, 2009 at 7.30 pm
Venue: Conference Room
The Civic Centre, Silver Street,
Enfield, Middlesex, EN1 3XA

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MEMBERS

Councillors : Alan Barker (Chairman), Henry Pipe (Vice-Chairman),
Chaudhury Anwar MBE, Jayne Buckland, Andreas Constantinides, Don Delman,
Annette Dreblow, Peter Fallart, Jonas Hall, Ahmet Hasan, Chris Joannides, Dino
Lemonides, Donald McGowan, Kieran McGregor, Anne-Marie Pearce, Toby Simon
and Terence Smith

**N.B. Members of the public are advised that the order of business on
the agenda may be altered at the discretion of the Committee.**

**Any member of the public interested in attending the meeting should
ensure that they arrive promptly at 7.15pm.**

AGENDA – PART 1

1. WELCOME AND LEGAL STATEMENT
2. APOLOGIES FOR ABSENCE
3. DECLARATION OF INTERESTS (Pages 1 - 2)

Members of the Planning Committee are invited to identify any personal or
prejudicial interests relevant to items on the agenda. Please refer to the
guidance note attached to the agenda.

4. MINUTES (Pages 3 - 8)

To receive the minutes of the meeting held on Thursday 18 December 2008.

5. REPORT OF THE INTERIM ASSISTANT DIRECTOR, PLANNING AND ENVIRONMENTAL PROTECTION (Pages 9 - 106)

- 5.1 Applications dealt with under delegated powers.
(A copy is available in the Members Library)
- 5.2 Planning Applications and applications to display advertisements.
- 5.3 Appeal information.
Section 1: New Town Planning Application Appeals
Section 2: Decisions on Town Planning Application Appeals

6. SOUTHGATE COLLEGE APPLICATION : PLANNING PANEL

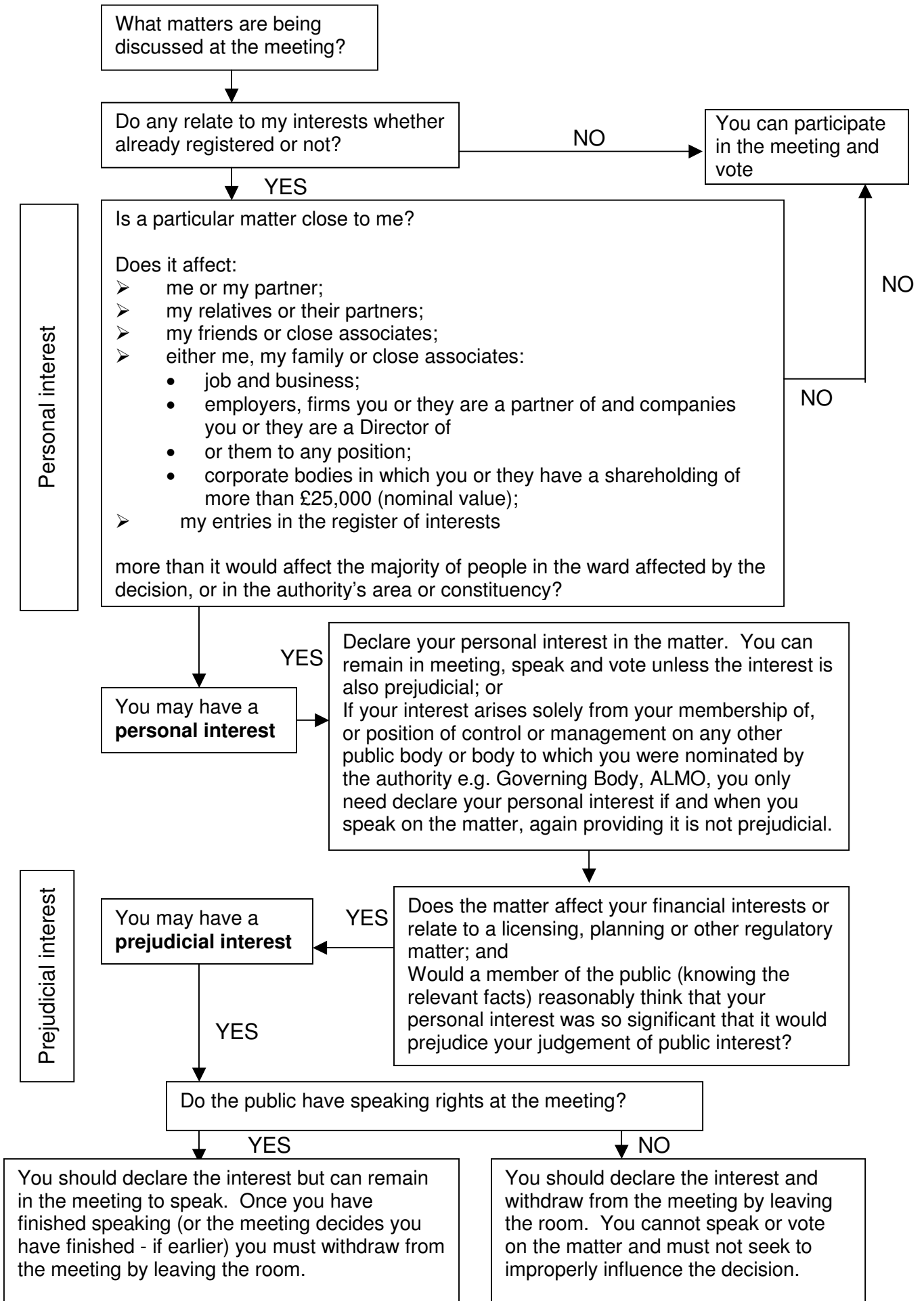
To agree:

- (a) to hold a Planning Panel meeting in relation to the application for redevelopment of the site of Southgate College, High Street, London, N14 6BS to provide enhanced educational facilities for Southgate College on a single site, comprising a mix of 2, 3, and 4-storey buildings and refurbishment of existing buildings together with associated access and car parking.
- (b) a date for the Planning Panel (suggested potential dates are Thursday 26 February or Tuesday 3 March 2009).
- (c) the membership of the Panel (up to 7 members of the Planning Committee).

7. EXCLUSION OF THE PRESS AND PUBLIC

If necessary, to consider passing a resolution under Section 100A(4) of the Local Government Act 1972 excluding the press and public from the meeting for any items of business moved to part 2 of the agenda on the grounds that they involve the likely disclosure of exempt information as defined in those paragraphs of Part 1 of Schedule 12A to the Act (as amended by the Local Government (Access to Information) (Variation) Order 2006).
(There is no part 2 agenda)

DECLARING INTERESTS FLOWCHART - QUESTIONS TO ASK YOURSELF



Note: If in any doubt about a potential interest, members are asked to seek advice from Democratic Services in advance of the meeting.

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PLANNING COMMITTEE - 18.12.2008

**MINUTES OF THE MEETING OF THE PLANNING COMMITTEE
HELD ON THURSDAY, 18 DECEMBER 2008****COUNCILLORS**

PRESENT Alan Barker, Jayne Buckland, Andreas Constantinides, Dogan Delman, Annette Dreblow, Peter Fallart, Jonas Hall, Ahmet Hasan, Chris Joannides, Dino Lemonides, Kieran McGregor, Anne-Marie Pearce, Toby Simon and Terence Smith

ABSENT Henry Pipe, Chaudhury Anwar MBE and Donald McGowan

OFFICERS: Bob Ayton (Schools Organisation & Development), Andy Higham (Area Planning Manager), Julian Jackson (Head of Development Control), John Lynch (Interim Borough Planning Officer), Steve Jaggard (Environment & Street Scene), David Snell (Area Planning Manager) and Keith Trowell (Legal), Jane Creer (Secretary) and Kasey Knight (Secretary).

Also Attending: Approximately 40 members of the public, applicants, agents and their representatives.
Dennis Stacey, Chairman of the Conservation Advisory Group.

641**WELCOME AND LEGAL STATEMENT**

The Chairman welcomed attendees to the Planning Committee and introduced Keith Trowell, Legal representative, who read a statement regarding the order and conduct of the meeting.

642**APOLOGIES FOR ABSENCE**

Apologies for absence were received from Councillors Anwar, McGowan and Pipe.

643**DECLARATION OF INTERESTS**

NOTED Councillor Delman declared a prejudicial interest in TP/08/1311 (152, Green Lanes, London, N13 5UN). He left the room when the item was considered.

644**MINUTES**

AGREED that the minutes of the meeting held on Thursday 27 November 2008 be confirmed as a correct record.

PLANNING COMMITTEE - 18.12.2008

645

REPORT OF THE INTERIM BOROUGH PLANNING OFFICER (REPORT NO. 160)

RECEIVED the report of the Interim Borough Planning Officer.

646

APPLICATIONS DEALT WITH UNDER DELEGATED AUTHORITY

NOTED that a copy of those applications dealt with under delegated powers was available in the Members' Library and via the Council's website.

647

ORDER OF AGENDA

AGREED that the order of the agenda be varied to accommodate the members of the public in attendance at the meeting. The minutes follow the order of the agenda.

648

LBE/08/0025 - SALISBURY LOWER SCHOOL, TURIN ROAD, LONDON, N9 8DQ

AGREED that planning permission be deemed to be granted in accordance with Regulation 3 of the Town and Country Planning (General Regulations) 1992, subject to the conditions set out in the report, for the reason set out in the report.

649

TP/08/0886 - 24, FOUNTAINS CRESCENT, LONDON, N14 6BE

NOTED

1. The receipt of an additional objection from Councillor Edward Smith on grounds that the infill development would detract from the existing suburban character of the locality.

2. The deputation of Mr Chris Georgiou of CG Architects, the agent, including:

- (i) The proposed design would be in keeping with neighbouring properties and would not be detrimental to the street scene.
- (ii) Creation of four parking spaces.
- (iii) The application proposes communal amenity space, with additional landscape areas to the front of the property, with refuse and recycling storage provided.
- (iv) The proposed extension would retain a separation of 4.5 metres from 26 Fountains Crescent.

3. The deputation of Mr John Tarrant, local resident, including:

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- (i) 117 letters objecting to the proposal had been received.
- (ii) The proposed conversion of the property would result in an over intensive use of the property.
- (iii) Loss of a family dwelling.
- (iv) Proposed visual appearance, size, mass, bulk and density would not be in keeping with the surrounding environment and would not complement the existing semi-detached and detached properties.
- (v) The existing dwelling is below minimum standard appropriate for conversions.
- (vi) The proposed extensions would give rise to unacceptable overlooking of neighbouring properties, loss of privacy and loss of light particularly number 26 Fountains Crescent.
- (vii) Noise and disturbance to neighbouring property.
- (viii) Concern regarding road safety as the proposed access is located on a dangerous 90-degree bend.
- (ix) Inadequate parking provision.

4. The deputation of Mr Paul Lee, local resident, including:

- (i) The proposed conversion would be overdevelopment, overbearing, overly dominant and visually intrusive in a preserved area.
- (ii) Site is not as accessible as suggested by the application.
- (iii) This proposal would be contrary to London Plan, Enfield's Local Development Framework and English Heritage policies.
- (iv) The large extensions would lead to loss of light particularly due to the reduced levels of number 26.

5. The unanimous support of the Committee to refuse the application.

AGREED that planning permission be refused for the reasons set out in the report.

650

TP/08/0887 - 24, FOUNTAINS CRESCENT, LONDON, N14 6BE

AGREED that consideration of the application be deferred due to inaccurate plans.

651

TP/08/1311 - 152, GREEN LANES, LONDON, N13 5UN

AGREED that planning permission be granted subject to the conditions set out in the report, for the reasons set out in the report and the additional condition set out below, for the reason set out below.

Additional Condition: The premises shall only be open for business and working between the hours of 08:00 to 20:00 Monday to Friday, 08:00 to 17:00 on Saturday and at no time at all on Sunday.

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Reason: To safeguard the amenities of the occupiers of nearby residential properties and to ensure the scale of use remains appropriate to the location having regard to the character of the surrounding area and issues of free flow and safety on the adjoining highways.

652

TP/08/1343 - 9, THE BRACKENS, ENFIELD, EN1 2JY

NOTED a supplementary report, which had been circulated to members.

A vote was taken: 12 votes in favour of the officers' recommendation of refusal and 1 abstention.

AGREED that planning permission be refused for the reasons set out in the report.

653

TP/08/1711 - 43, SPENCER AVENUE, LONDON, N14 4TS

NOTED

1. A supplementary report, which had been circulated to members.
2. The deputation of Mr Nick Penfold, the applicant, including:
 - (i) The proposal was amended following early consultation with planning officers'.
 - (ii) The conversion would help satisfy the high demand for such housing.
 - (iii) Members' attention was drawn to figure 1 of the supplementary report
 - (iv) Concerns that the objections raised by local residents were based on the extensive history of failed planning applications and the previous use of the premises as temporary accommodation. (As detailed in figures 2 and 3 of the supplementary report).
 - (v) Members' attention was drawn to figure 4 of the supplementary report, showing that 43 Spencer Avenue was entered into the Council Tax list as four separate flats between 1 May 1999 and 1 October 2004.
 - (vi) The application proposes amenity space for all 3 flats, off street parking for 2 cars and a refuse and recycling storage area.
3. The response of Mr George Georgiou, local resident including:
 - (i) Concern with regard to the loss of a family dwelling and multiple occupancies.
 - (ii) The proposal would lead to on street parking in a road already experiencing high parking levels.
 - (iii) Concern that the proposed positioning of the plumbing would cause further damp problems in the neighbouring property.

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4. Members discussed the history of the property.
5. In response to members' enquiries, the Planning Officer's advice that the number of conversions exceeds 20%.

The unanimous support of the Committee to refuse the application.

AGREED that planning permission be refused for the reasons set out in the report.

654

TP/08/1732 - 1-4, BUCKWORTH COURT, HOLTWHITES HILL, ENFIELD, EN2 0RR

NOTED

1. The deputation of Mr David James, neighbouring resident, including:
 - (i) Concern that the proposal was part of a larger scheme including nearby terraces and the Holtwhites Hotel.
 - (ii) The application was unlikely to provide adequate parking for visitors.
 - (iii) Concern that the proposed external lighting would disturb local residents.
 - (iv) Recommendation of an additional condition in relation to the existing boundary fence being replaced by a 2-metre high brick wall.
2. The response of Carolyn Apcar, the agent, including:
 - (i) She was speaking on behalf of the applicant.
 - (ii) The application follows the refusal of a previous application, which proposed a new building on the site of substantially greater footprint and mass.
 - (iii) The concerns of neighbours were appreciated, but there was no intention to expand.
 - (iv) The previous application proposed supported accommodation for 15 persons. This application proposes supported accommodation for 11 persons with learning and physical disabilities that generally do not drive. The proposed development would promote residents' independence. Four staff would work on the site to assist residents.
 - (v) The Council's Adult Social Services Housing Care and Support Team support the proposed development.
 - (vi) The proposed extension would be sited no closer from the side boundary with No. 1 Holtwhites Hill than the existing building.
 - (vii) The agent stated that the applicant would have no objection to imposition of a condition to erect a new boundary wall in replacement of the existing fence.

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3. The advice of the Planning Officer that external lighting was covered by condition 9.

4. In response to members' enquiries, the Planning Officer's advice in respect to floor space.

A vote was taken: 12 votes in favour of the officers' recommendation that planning permission be granted and 1 abstention.

AGREED that planning permission be granted, subject to the conditions set out in the report for the reason set out in the report and subject to the provision of a wall along the boundary of No. 1 Holtwhites Hill being secured via condition 5.

655

TP/08/1943 - ST EDMUNDS RC PRIMARY SCHOOL, HERTFORD ROAD, LONDON, N9 7HJ

AGREED that planning permission be granted subject to the conditions set out in the report, for the reason set out in the report.

656

TP/08/1951 - MERRYHILLS LIBRARY, ENFIELD ROAD, ENFIELD, EN2 7HL

AGREED that planning permission be granted, subject to a Section 106 Agreement to address highway matters and the conditions set out in the report, for the reason set out in the report.

657

TOWN PLANNING APPEALS

NOTED the information on town planning applications appeals received from 8 November to 30 November 2008.

658

THANKS

NOTED special thanks and best wishes were given to John Lynch and Keith Trowell who were leaving the Council.

MUNICIPAL YEAR 2008/2009 - REPORT NO. 178

COMMITTEE:
 PLANNING COMMITTEE
 29.01.2009

AGENDA - PART 1	ITEM 5
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SUBJECT -

MISCELLANEOUS MATTERS

REPORT OF:
 Interim Asst. Director, Planning
 and Environmental Protection

Contact Officer:
 David Snell Tel: 020 8379 3838
 Andy Higham Tel: 020 8379 3848

5.1 APPLICATIONS DEALT WITH UNDER DELEGATED POWERS INF

5.1.1 In accordance with delegated powers, 278 applications were determined between 05/12/2008 and 14/01/2009, of which 181 were granted and 97 refused.

5.1.2 A Schedule of Decisions is available in the Members' Library.

Background Papers

To be found on files indicated in Schedule.

5.2 PLANNING APPLICATIONS AND APPLICATIONS TO DISPLAY ADVERTISEMENTS DEC

On the Schedules attached to this report I set out my recommendations in respect of planning applications and applications to display advertisements. I also set out in respect of each application a summary of any representations received and any later observations will be reported verbally at your meeting.

Background Papers

- (1) Section 70 of the Town and Country Planning Act 1990 states that the Local Planning Authority shall have regard to the provisions of the development plan, so far as material to the application, and to any other material considerations. Section 54A of that Act, as inserted by the Planning and Compensation Act 1991, states that where in making any determination under the Planning Acts, regard is to be had to the development, the determination shall be made in accordance with the plan unless the material considerations indicate otherwise. The development plan for the London Borough of Enfield is the Unitary Development Plan (UDP).
- (2) Other background papers are those contained within the file, the reference number of which is given in the heading to each application.

5.3 APPEAL INFORMATION

INF

The Schedule attached to the report lists information on town planning application appeals received between 01/12/2008 and 09/01/2009 and also contains information on decisions taken during this period.

LIST OF APPLICATIONS
TO BE DETERMINED
BY THE PLANNING COMMITTEE
ON: 29th JANUARY 2009

APPLICATION: LBE/08/0024 RECOMMENDATION: Granted Subject to
Conditions

WARD: Palmers Green
Location: 104, FARNDAL AVENUE, LONDON, N13 5AL
PAGE No: 14

APPLICATION: LBE/08/0026 RECOMMENDATION: Granted Subject to
Conditions

WARD: Palmers Green
Location: SPORTS GROUND, OAKTHORPE ROAD, LONDON, N13 5HY
PAGE No: 19

APPLICATION: LBE/08/0029 RECOMMENDATION: Granted Subject to
Conditions

WARD: Bush Hill Park
Location: INFANT BUILDING, RAGLAN INFANT SCHOOL, WELLINGTON ROAD,
ENFIELD, EN1 2RG
PAGE No: 25

APPLICATION: TP/08/0887 RECOMMENDATION: Granted Subject to
Conditions

WARD: Southgate
Location: 24, FOUNTAINS CRESCENT, LONDON, N14 6BE
PAGE No: 36

APPLICATION: TP/08/2020 RECOMMENDATION: Granted subject to S106
completion

WARD: Grange
Location: VACANT LAND, adjacent to 81, CECIL ROAD, ENFIELD, EN2 6TJ
PAGE No: 46

APPLICATION: TP/08/2090 RECOMMENDATION: Granted Subject to
Conditions

WARD: Southgate Green
Location: Land in between, 85 And, 87, Ulleswater Road, London, N14 7BN
PAGE No: 56

APPLICATION: TP/08/2199

RECOMMENDATION: Granted Subject to
Conditions

WARD: Edmonton Green

Location: CRAIG PARK, CRAIG PARK ROAD, LONDON, N18 2HG

PAGE No: 69

APPLICATION: TP/08/1209

RECOMMENDATION: Granted Subject to
Conditions

WARD: Winchmore Hill

Location: KING EASTON GARDEN CENTRE, 69, STATION ROAD, LONDON, N21
3NB

PAGE No: 75

LBE/08/0024



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Scale 1/1250 Date 13/1/2009

Centre = 532059 E 193480 N

Application Number: LBE/08/0024 **Ward:** Palmers Green
Date of Registration: 28th November 2008

Contact: Nigel Catherall 3833

Location: 104, FARNDALE AVENUE, LONDON, N13 5AL

Proposal: Single storey rear extension.

Applicant Name & Address:

Enfield Homes
9, CENTRE WAY
LONDON
N9 0AP

Agent Name & Address:

Mr Stuart McClinton, Hadley Design Associates
1, Christchurch Lane
Hadley Green Barnet
Barnet
Herts
EN5 4PL

Recommendation: That in accordance with Regulation 3 of the Town and Country Planning (General) Regulations 1992, planning permission be deemed to be **GRANTED** subject to the following conditions:

1. C08 Materials to Match
2. C25 No additional Fenestration
3. C26 Restriction of Use of Extension Roofs
4. C51A Time Limited Permission

Site and Surroundings

A two-storey semi-detached house with no previous extensions. The surrounding area is predominately residential and is characterised by a mix of detached and semi-detached dwellings although to the rear of the property are allotments.

Proposal

Permission is sought for a single storey rear extension to provide an additional bedroom due to the personal circumstances of the applicant. The extension would be 5.525m wide and 2.955 m deep on the common boundary with No.106 Farndale Avenue. At a distance of 2 metres from this boundary, the extension would step out to 3.805m for the remaining width of 3.525m. The overall height would be 2.6m, with parapets to a height of 3.1m.

Relevant History

None.

Consultations

Public:

Consultation letters have been sent to 6 neighbouring properties. No replies have been received.

External: None.

Internal: None.

Relevant Policies

London Plan:

4B.8 Respect Local Context and Character

Unitary Development Plan :

- (I) GD1 Appropriate regard to surroundings
- (I) GD2 Improve environment, quality of live and visual amenity
- (II) GD3 High standard of functional and aesthetic design
- (II) H8 Maintain privacy and prevent overlooking
- (II) H12 Home Extensions

Other Material Considerations:

None

Analysis

Impact on Neighbouring Properties

There is no rear extension at the adjoining property No.106 Farndale Avenue. Policy (II)H12 would normally seek to restrict the depth of rear single storey extensions to 2.8 metres. However, Policy (II)H18 acknowledges that it may be appropriate to relax standards to permit the adaptation of a residential dwelling to the suit the needs of an occupier. In this instance, the additional projection beyond the normally applied policy is minimal and in the light of the applicant's personal circumstances, it is considered the depth and height of the proposed extension would not affect the light and outlook enjoyed by the adjoining property.

In relation to the adjacent property at No.102 Farndale Avenue, the depth of the proposed single storey extension is greater. However there is no impact on the amenities of this property due to the existence of a 5 metre deep single storey rear extension and a single storey side extension with no flank windows. In addition, there is a 7m separation between the two properties and the respective extensions would be separated by more than 8m.

Impact on Surrounding Area

There are examples of single storey rear extensions on surrounding properties with a wide variety of depths, heights, and styles. The proposed extension would not be out of place and would be built to a similar height as some of the extensions to neighbouring. Consequently, it would not give rise to adverse conditions prejudicial to the appearance of the surrounding area.

Conclusion

In the light of the above assessment, it is recommended that the application be granted for the following reasons:

- 1 The proposed single storey rear extension, due to its siting, size and design would not adversely affect the character and appearance of the existing property and would not adversely affect the residential amenities of the surrounding properties having regard to Policies (I)GD1, (I)GD2, (II)GD3, and (II)H12 of the Unitary Development Plan.
- 2 The proposed single storey rear extension would not have an adverse impact on the privacy of the neighbouring properties having due regard to Policy (II) H8 of the Unitary Development Plan.

LBE/08/0026



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Scale 1/2500 Date 14/1/2009

Centre = 531390 E 192423 N

Application Number: LBE/08/0026 **Ward:** Palmers Green
Date of Registration: 15th December 2008

Contact: Penny White 4594

Location: SPORTS GROUND, OAKTHORPE ROAD, LONDON, N13 5HY

Proposal: Extension in height of boundary fence to North and N.E to a maximum height of 4.7m high.

Applicant Name & Address:

Sue Watson, London Borough of Enfield
Civic Centre
Silver Street
Enfield
Middlesex
EN1 3XB

Agent Name & Address:

Ms Angela Mbah
Civic Centre
Silver Street
Enfield
Middlesex
EN1 3XB

Recommendation: That in accordance with Regulation 3 of the Town and Country Planning (General) Regulations 1992, planning permission be deemed to be **GRANTED** subject to the following conditions:

1. C08 Materials to Match
2. C51A Time Limited Permission

Site and Surroundings

Oakthorpe Playing Field is used by St Anne's Catholic School and is bounded to the east and south by residential properties on Chimes Avenue and Oakthorpe Road. To the north is the New River which is designated a Green Chain, a Wildlife Corridor and a Site of Nature Conservation. It also forms part of the Blue Ribbon network identified in the London Plan. To the west is the Muslim Community Education Centre. The character of the surrounding area is residential.

Amplification of Proposal

Permission is sought to increase the height of the existing palisade fencing (1.98 m) along the northern section of the Chime Avenue frontage and along the entire New River frontage, by introducing wire mesh fencing up to a height of 4.7 metres. This would include raising the height of the main palisade entrance gates on Chimes Avenue, to 3.2 metres.

This proposed change would reflect the fencing already erected around the remainder of the playing field and is required to improve security of the playing field.

Relevant Planning Decisions

LBE/05/0003 - single storey building to provide a changing block ancillary to sports ground together with new access to Chimes Avenue received deemed consent in March 2005

Consultation

Public

Consultation letters were sent to 29 neighbouring properties. No letters of objection have been received.

External: None

Internal: None

Relevant Policy

The London Plan

3A.21	Education Facilities
3D.8	Realising the value of open space and green infrastructure
3D.13	Children and young people's play and informal recreation strategies
3D.14	Biodiversity and nature conservation
4B.5	Creating an inclusive environment
4B.8	Respect local context and communities
4C.1	Respect natural value of Blue Ribbon network
4C.3	Strategic context for Blue Ribbon network

Unitary Development Plan

(I)GD1	Regard to surroundings
(I) GD2	Development to improve the quality of the environment
(II) GD3	Design/Character
(II)O8	Regard to Green Chains
(II)EN8	Nature conservation
(II)O19	Improve Public Playing Fields
(II) CS1	to facilitate through the planning process the work of various community services
(II)CS2	to ensure development for community services complies with the Council's environmental policies

Local Development Framework- Core Strategy Preferred Options

The Planning and Compulsory purchase Act 2004 requires the Council to replace the UDP with a Local Development Framework (LDF). The LDF core strategy will set out the spatial vision and strategic objectives for the Borough. The core strategy is at an early stage in its adoption process. As this continues the weight given to it will grow and the relevant objectives are reported to demonstrate the degree to which the proposals are consistent with the emerging policy direction.

SO3	Protect enhance Enfield's Environmental quality
SO7	Distinctive, balanced and healthier communities
SO11	Safer and stronger communities

SO 17 Safeguard established communities

Other Material Considerations

PPS1: Delivering Sustainable Communities
PPG17: Planning for Open Space, Sport and Recreation (2002)

Analysis

Impact on Character and Appearance

There is no objection in principle to the erection of fencing to enclose the existing playing field. Moreover, the need to provide a secure environment for the school is acknowledged.

Wire mesh fencing of the colour and style proposed, although rising to 4.7 metres in height, would be in keeping with that already existing and consequently, given the visual permeability of the mesh, it is considered that it would not appear visually intrusive in the street scene. In addition, the permeability of the fencing would maintain the 'green' outlook and the contribution of the open playing field to the character and appearance of the surrounding area.

There are a number of trees located around the edge of the playing field. However, the fencing will have minimal impact on these trees which will continue to contribute to the street scene as well as providing a backdrop for the fencing itself.

Impact on Green Chain / Wildlife Corridor

The increase in height of the fencing along the northern boundary of the playing field, fronting the New River will not harm the ecological value of the "corridor". Moreover, due to the open form of the wire mesh fencing, it would have minimal visual presence and the contribution of the open playing field to the visual amenities of the wildlife corridor would not be affected sufficient to warrant refusal of the application.

Residential Amenity

The nearest residential property is 1 Chimes Avenue. Whilst it is acknowledged that the erection of the fencing of the height proposed will be an additional feature in the outlook of this property, it is considered that the open form of the wire mesh and its position, 3 metres away from the residential curtilage, is sufficient to mitigate against any impact on light or outlook arising from its presence.

Highway Safety

Neither the siting nor design of the fencing including the entrance gates raises issues regarding sightlines or highway safety on Chimes Avenue

Conclusion

The proposal would be consistent with the strategic objectives of the Core Strategy by contributing towards a safer environment which safeguards existing communities. In conclusion therefore, it is considered that the fencing is acceptable for the following reasons:

- 1 The boundary fence, due to its size, siting and open design, does not detract from the character and appearance of the surrounding area nor the ecological value of the adjoining

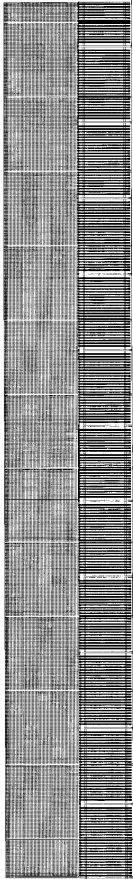
wildlife corridor of the New River having regard to Policies (I)GD1 and (II)GD3 of the Unitary Development Plan and Policies 4C.1 and 4C.3 of the London Plan.

2 The boundary fence, due to its siting and open design, does not give rise to conditions prejudicial to the amenities enjoyed by neighbouring residential properties through a loss of light and outlook having regard to Policies (I)GD1 and (II) GD3 of the Unitary Development Plan.

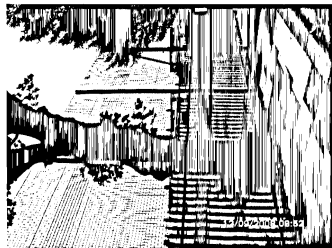
3 The boundary fence, due to its siting and open design, does not give rise to conditions prejudicial to highway safety having regard to Policy (II)GD8 of the Unitary Development Plan.



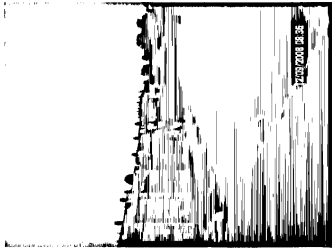
Existing North Elevation along New River Path - Typical Elevation



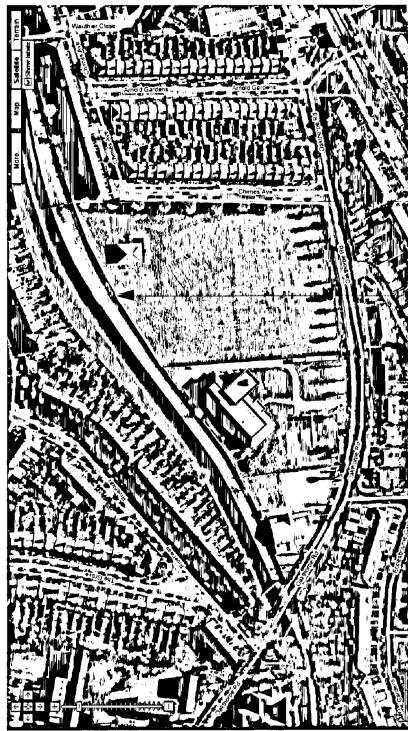
Proposed North Elevation along New River Path



East boundary fence along Chimes Avenue showing wire mesh fence above palisade fence



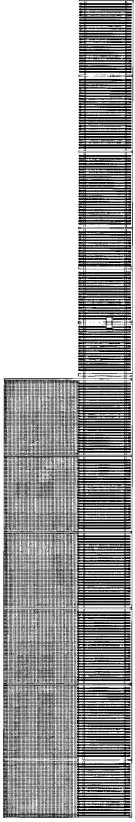
Fence to be extended on North boundary along New River Path



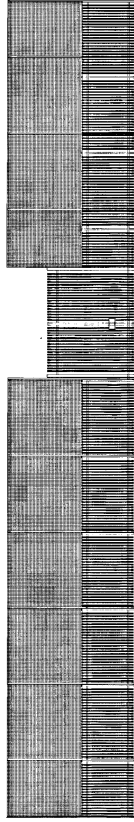
Aerial View of Oakthorpe playing field

East boundary fence along Chimes Avenue

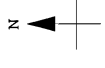
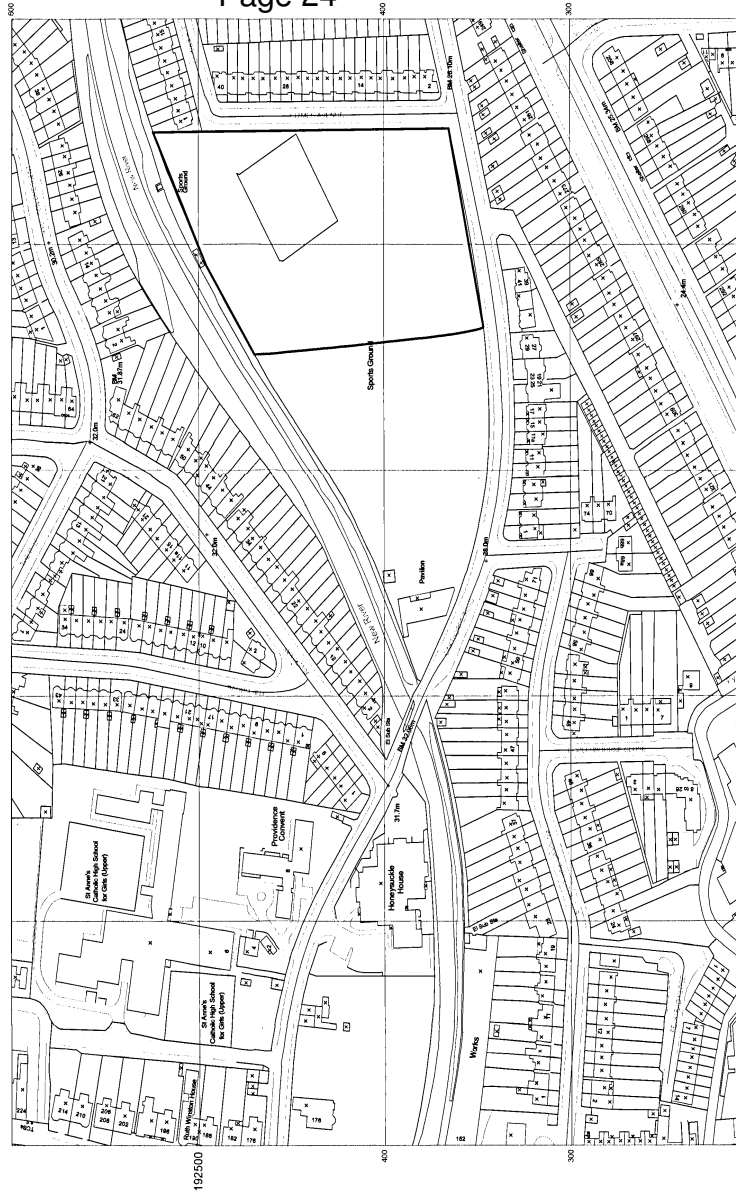
North fence along New River Path



Existing East Elevation along Chimes Avenue - Typical Elevation



Proposed East Elevation along Chimes Avenue



LONDON BOROUGH OF ENFIELD
28 JULY 2018
PLANNING AND TRANSPORTATION

**Location Plan
1:1250**

Project No.	11250/1/100
Date	27/1/18
Author	JAM
Checked by	JAM
Approved by	JAM
Project Name	Oakthorpe Road Playing Field-Fence Improvement Location Plan & Elevations
Drawn by	MEZ00/001654/B1



100, 101 & 102, Church Lane, Church End, Enfield, Middlesex EN2 8JH
Tel: 0181 871 1234

ENFIELD Council

File: 0000_0000
CAD File No:
Copy path from Worksheet Explorer

LBE/08/0029



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Scale 1/2500 Date 14/1/2009

Centre = 533460 E 194805 N

Application Number: LBE/08/0029 **Ward:** Bush Hill Park
Date of Registration: 19th December 2008

Contact: Rob Singleton 3837

Location: INFANT BUILDING,RAGLAN INFANT SCHOOL, WELLINGTON ROAD, ENFIELD,
EN1 2RG

Proposal: Demolition of Horsa hut and temporary classroom and erection of a single storey building to south of Infants school to provide a new classroom block, kitchen and dining hall and extension to Junior School at North elevation to provide a new kitchen and extended dining hall with ramped access and new entrance to Wellington Road (REVISED SCHEME).

Applicant Name & Address:

Director of Education, Children Services
CIVIC CENTRE
SILVER STREET
ENFIELD
MIDDLESEX
EN1 3XA

Agent Name & Address:

Mr Andrew Plakides, Architectural Services
CIVIC CENTRE
SILVER STREET
ENFIELD
MIDDLESEX
EN1 3XA

Recommendation: That in accordance with Regulation 3 of the Town and Country Planning (General) Regulations 1992, planning permission be deemed to be **GRANTED** subject to the following conditions:

1. C07 Details of Materials
2. C09 Details of Hard Surfacing
3. C10 Details of Levels
4. C11 Details of Enclosure
5. C12 Details of Parking/Turning Facilities
6. C13 Details of Loading/Unloading/Turning Facilities
7. C14 Details of Access and Junction
8. C16 Private Vehicles Only - Parking Areas
9. C17 Details of Landscaping
10. C19 Details of Refuse Storage

11. C20 Details of Fume Extraction
12. C21 Construction Servicing Area
13. C22 Details of Const. Vehicle Wheel Cleaning
14. C41 Details of External Lighting
15. C57 Sustainability
16. C59 Cycle parking spaces
17. Following the completion of works details of the redundant points of access and reinstatement of the verge to make good the footway shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented and permanently retained.

Reason: To provide safe and accessible linkages for pedestrians and cyclists and to preserve the interests of highway amenity.
18. C51A Time Limited Permission

Site and Surroundings

The site comprises Ragland Nursery, Infant and Primary Schools. The site is surrounded by residential development with Raglan Road to the north, Amberley Road to the east, and Wellington Road to the west. To the south, the school playing fields back onto properties lining Crawley Road. The existing vehicle and pedestrian access to the main school building is from Amberley Road. However, pedestrian's access exists at two points on Wellington Road and a further two points on Raglan Road.

Proposal

Permission is sought for two distinct elements of construction.

- a) the demolition of existing horsa huts and temporary classrooms serving the Infant's school and the erection of a single storey extension to form additional classrooms and a kitchen and dining block. Associated parking to the east of the site would be relocated to an area currently occupied with a redundant outbuilding and waste ground;
- b) the demolition of the existing toilet block with associated toilet adaptation combined with the extension of an existing hall to the north west of the site to provide a new kitchen for the Primary school serviced by a new pedestrian gate and ramp from Wellington Road. The scheme would result in 4 additional part time members of staff.

Relevant Planning History

LBE/08/0012 – an application for the demolition of horsa hut and temporary classrooms and erection of a single storey Infants classroom and kitchen / dining block and demolition of toilet block and erection of an extension to the Juniors hall to provide a dining room and kitchen together with new vehicular and pedestrian access to Wellington Road was withdrawn in November 2008 in order to resolve concerns regarding acceptability.

Consultations

Public

Consultation letters were sent to 85 neighbouring properties. No objections have been received.

Any replies received will be reported at the meeting.

External

Any comments received will be reported at the meeting.

Internal

Traffic and Transportation comment that due to the good public transport accessibility and the provision of mini-bus drop-off points, the access, parking and servicing provision available on site are generally acceptable and would not give rise to conditions prejudicial to the safety and free flow of traffic of the adjoining highways. However, there are a number of aspects which require clarification / modification and discussions are on going to resolve these.

Any other replies will be reported at the meeting.

Relevant Policies

London Plan

- 3A.17 Addressing the needs of London's diverse population
- 3A.24 Education Facilities
- 3D.13 Children and young people's play and informal recreation strategies
- 3D.14 Biodiversity and nature conservation
- 4B.5 Creating an inclusive environment
- 4B.8 Respect local context and communities

Unitary Development Plan

- (I)GD1 Regard to surroundings
- (I)GD2 Development to improve the environment
- (II)GD3 Aesthetic and functional design
- (II)GD6 Traffic generation
- (II)GD8 Access & servicing
- (II)T13 Access to existing highways
- (II)T16 Pedestrian and disabled access
- (II)C35 Protection to trees of significance
- (II)C37 Good arboricultural practice
- (II)C38 Loss of trees with acknowledged public amenity value
- (I)CS1 Community services
- (II)CS1 To facilitate through the planning process the work of various community services
- (II)CS2 To ensure development for community services complies with the Council's environmental policies
- (II)CS3 Optimum use of land

Local Development Framework: Preferred Options

The Planning and Compulsory Purchase Act 2004 requires the Council to replace the UDP with a Local Development Framework (LDF). The LDF core strategy will set out the spatial vision and strategic objectives for the Borough. The core strategy is at an early stage in its adoption process. As this continues the weight given to it will grow and the relevant objectives are reported to demonstrate the degree to which the proposals are consistent with the emerging policy direction.

- SO1 Sustainability and Climate Change
- SO3 Protect enhance Enfield's Environmental quality
- SO7 Distinctive, balanced and healthier communities
- SO11 Safer and stronger communities
- SO16 Preserve local distinctiveness
- SO 17 Safeguard established communities

Other Policy Considerations

- PPS1: Delivering Sustainable Communities
- PPG13: Transport

Analysis

Single Storey Classroom, Kitchen and Dining Block Extension to Infants School

The proposed extension would have an approx. overall length of 22 metres and would occupy an area containing the temporary dining / kitchen buildings.

Separated into three distinct elements, each has a varied height but does not exceed 4.6 metres. Given the distance to the nearest residential boundary along Amberley Road of 10.4 metres, the size of the extension would not impact on the outlook or light enjoyed by the occupiers of these properties. Furthermore, although parking and servicing would occur in this area, the level of activity is considered not to be sufficient to warrant refusal on grounds of noise and disturbance.

Notwithstanding the varied treatment in building heights, the resultant appearance is acceptable and having regard to the proposed built form and use of materials, it respects the distinctive appearance of the existing school buildings. Moreover, the visual presence of the proposed extension will be mitigated by the landscape enhancement to the school ground and, in particular, the retention of established trees to the eastern boundary. The proposed sustainable green roofs will also soften the built form.

Single Storey Kitchen and Dining Block Extension to Primary School)

Located in the north east corner of the school, the extension proposed will occupy a prominent position. However, the flat roofed extension retains a sympathetic appearance to the original school building and although the proposed extension would be closer to the Wellington Road frontage than the main school, due to its appearance as well as the levels, it is considered that the development would not detract from the appearance of the school in the street scene.

Due to the separation of 10.4 metres that exists between the nearest residential properties on Wellington Road, it is considered that the massing of the single storey building would not be detrimental to the amenities of surrounding residential properties.

Protected Trees

The development will not result in the loss of or damage to the protected London Plane Trees lining the western boundary of the site which are covered by a Tree Preservation Order.

Parking and Access

Currently, the scheme involves the removal of an emergency vehicle access to Wellington Road, the introduction of a loading bay to Raglan Road, and an access for construction traffic to the Infants School via existing access in Amberley Road and a temporary construction access to Wellington Road.

Whilst the arrangements are generally acceptable, those for servicing and construction traffic will be the subject of further clarification at the meeting.

Sustainability

The proposed scheme achieves a score of 86% against the Council's sustainability checklist, indicating that sustainability issues have been sufficiently addressed. A condition to secure these measures is proposed.

Conclusion

With the enhancement of existing school facilities, the scheme actively contributes to the provision of educational services in the surrounding area, improves conditions for current and prospective pupils and staff and consequently for the wider community. It is thus compatible with the overarching objectives of planning policy including the emerging objectives of the Core Strategy of the Local Development Framework; in terms of children and young people. Moreover, in relation to the enhancements in the appearance of the built form, integration with sustainable green roof technologies and landscaping associated with the scheme, it is considered that the proposal would make a positive contribution to the character and appearance of the surrounding area. In light of the above, it is recommended that planning permission be deemed to GRANTED for the following reasons:

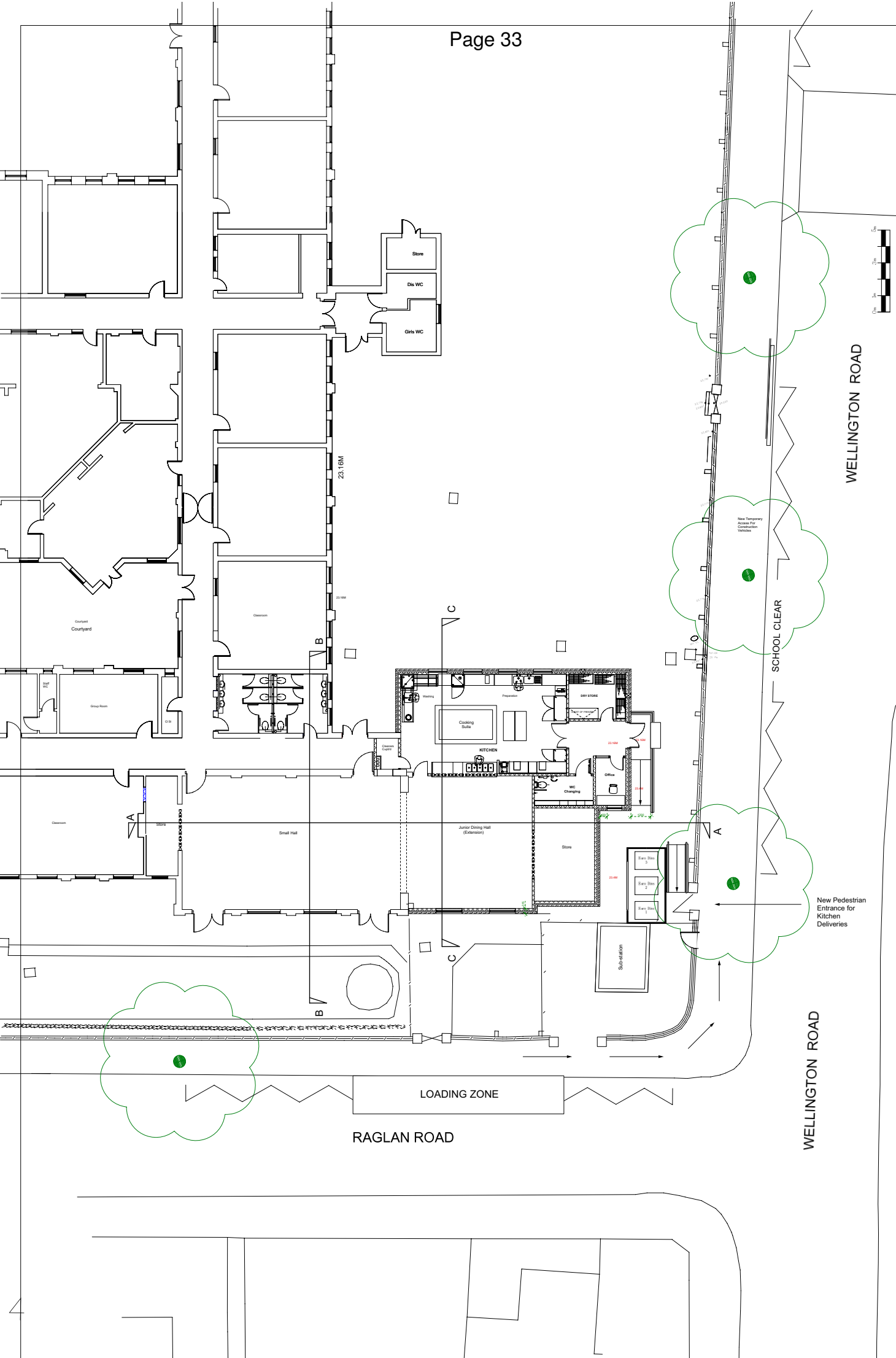
The proposed development and associated enhancement of this educational institution actively contributes to the provision of educational facilities for the wider community and thus is compatible of Policies (II)CS1, (II)CS2 and (II)CS3 of the Unitary Development Plan; Core Policies 1 and 16 of the emerging Core Strategy of the Local Development Framework; 3A.17 and 3A.24 of the London Plan; and, PPS1: Sustainable Development.

The proposed single storey extensions to the north west and south east of the site does not detract from the character and appearance of the surrounding area and would not serve to undermine residential amenity to neighbouring properties having regard to Policies (I)GD1, (I)GD2, (II)GD1 and (II)GD3 of the Unitary Development Plan.

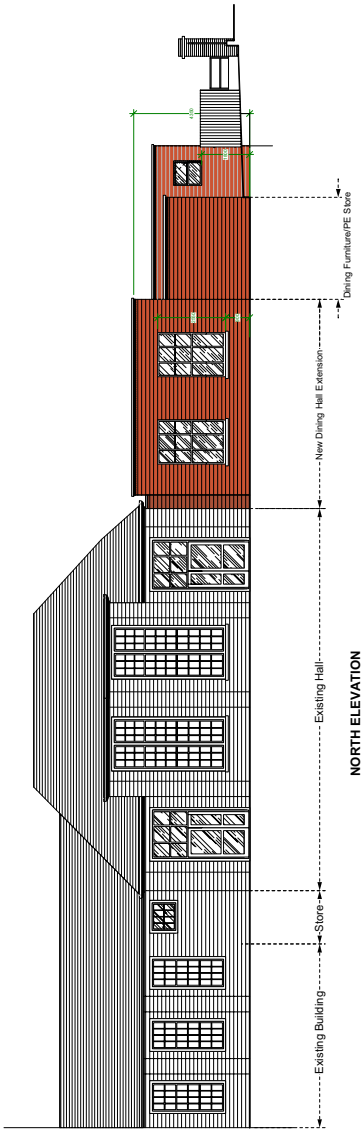
The proposed development makes appropriate provision for access and car parking and would not prejudice the provision of on-street parking, nor would it give rise to conditions prejudicial to the free flow and safety of traffic on the adjoining highways having regard to Policies (II)GD6 and (II)GD8 of the Unitary Development Plan, Policy 3C.23 of the London Plan and PPG13: Transport.

The proposed development makes appropriate provision for access, loading and car parking during construction works and would not prejudice the provision of on-street parking, nor would it give rise to conditions prejudicial to the free flow and safety of traffic on the adjoining highways

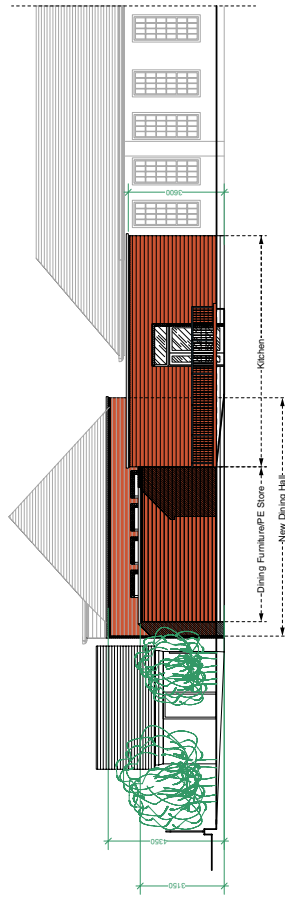
having regard to Policies (II)GD6 and (II)GD8 of the Unitary Development Plan, Policy 3C.23 of the London Plan and PPG13: Transport.



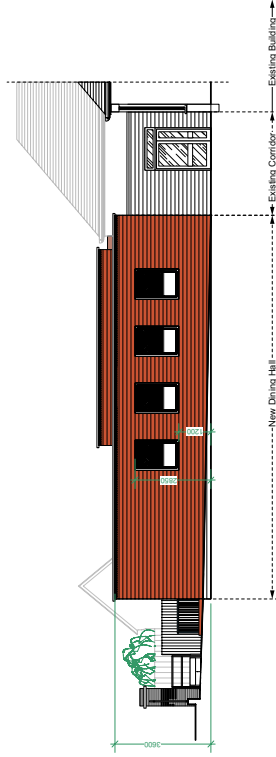
<p>ENFIELD Council</p> <p>Corporate Strategy, Planning & Development 100 High Street, Enfield, London N11 1AB Tel: 020 8291 2000</p>	<p>Project: Raglan Junior School: New Kitchen and Dining Hall</p> <p>Client: ENFIELD COUNCIL</p> <p>Drawn: AK</p> <p>Project No: 000044</p> <p>Project Title: 000044</p> <p>Project No: 000044</p> <p>Project Title: 000044</p>	<p>Project: Raglan Junior School: New Kitchen and Dining Hall</p> <p>Client: ENFIELD COUNCIL</p> <p>Drawn: AK</p> <p>Project No: 000044</p> <p>Project Title: 000044</p> <p>Project No: 000044</p> <p>Project Title: 000044</p>	<p>Project: Raglan Junior School: New Kitchen and Dining Hall</p> <p>Client: ENFIELD COUNCIL</p> <p>Drawn: AK</p> <p>Project No: 000044</p> <p>Project Title: 000044</p> <p>Project No: 000044</p> <p>Project Title: 000044</p>
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NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

See notes on Drawing AL(0)030



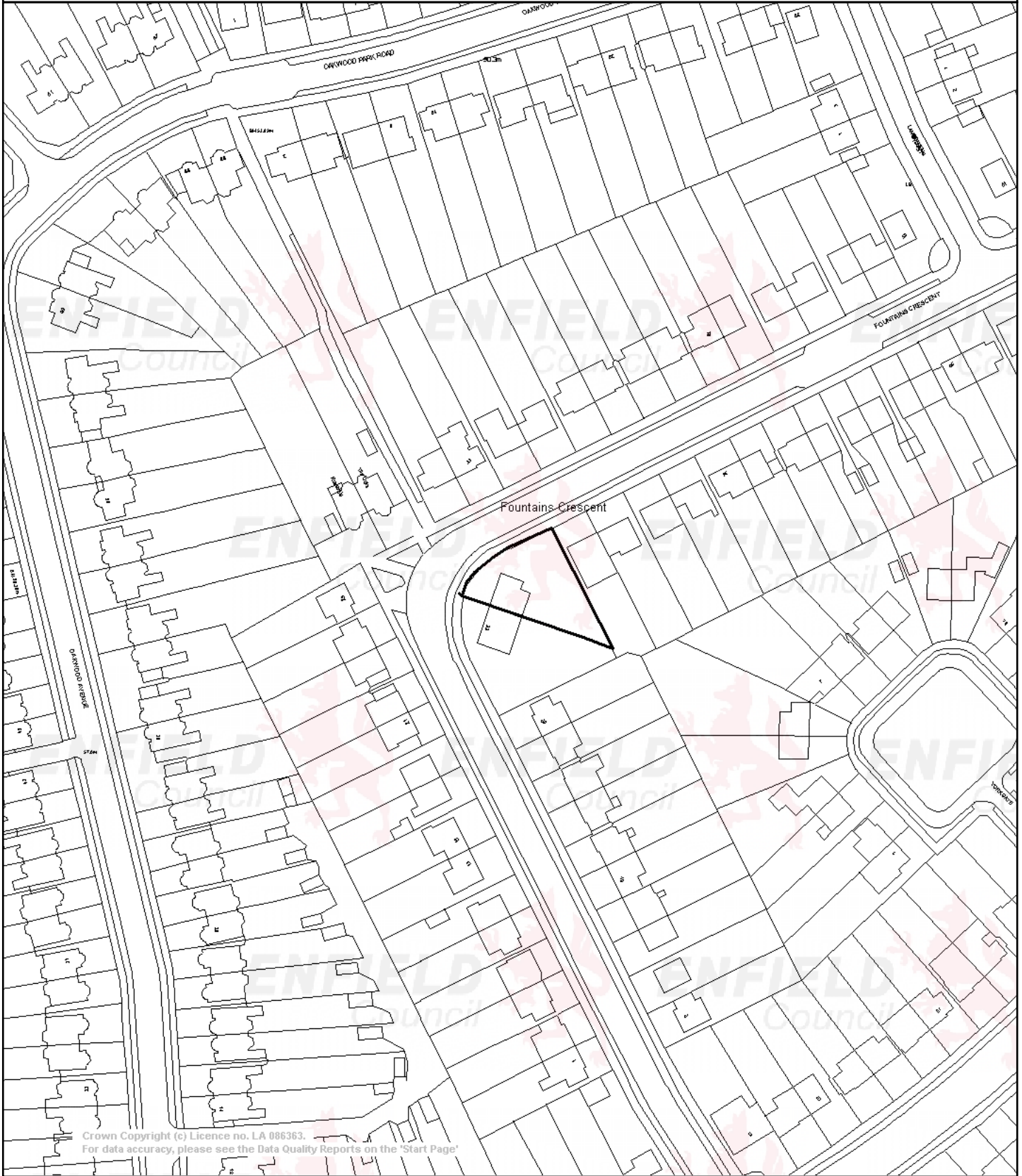
Rev. Date Note



Project: **Naglin Junior School: New Kitchen and Dining Hall**
 Drawing Title: **Proposed Elevations - Junior School**
 Drawing No: **1:100@A1**
 Project S.O. No: **40/003**
 Project No: **D/E257/000810-1AL(0)031**

Client: **Glenbrook Regional Council**
 Date: **10/08/2020**
 Scale: **1:100@A1**
 Project S.O. No: **40/003**
 Project No: **D/E257/000810-1AL(0)031**

TP/08/0887



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Scale 1/1250 Date 14/1/2009

Centre = 530021 E 194858 N

Application Number: TP/08/0887 **Ward:** Southgate

Date of Registration: 29th May 2008

Contact: David Warden 3931

Location: 24, FOUNTAINS CRESCENT, LONDON, N14 6BE

Proposal: Subdivision of site and erection of a detached 2-storey, 3-bed house at side with associated car parking and access at front.

Applicant Name & Address:

Mr George Papathoma
46, CHELMSFORD ROAD
LONDON
N14 5PT

Agent Name & Address:

CG Architects
221, East Barnet Road
Barnet
Herts
EN4 8QS

RECOMMENDATION: that planning permission be **GRANTED** subject to the following conditions:

1. The development shall not commence until additional plans fully detailing the existing and proposed ground levels including the levels of any proposed buildings, roads and/or hard surfaced areas have been submitted to and approved in writing by the Local Planning Authority. The details shall include the finished floor and eaves levels of no. 26 Fountains Crescent and the proposed eaves level shall match that at no. 26 Fountains Crescent. The development shall be constructed in accordance with the approved details.

Reason: To ensure that levels have regard to the level of surrounding development, gradients and surface water drainage.

2. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking or re-enacting that Order with or without modification) development within Schedule 2, Part 1: Classes A to E shall not be carried out to either the retained or proposed dwelling or within either curtilage unless planning permission for such development has first been granted by the Local Planning Authority.

Reason: To safeguard the amenities of the occupiers of adjoining properties and ensure an adequate level of private amenity space is retained.

3. The development shall not commence until detailed design of the refuse storage areas shown on approved plan 469/12/E received by the Local Planning Authority on 12th November 2008 have been submitted to and approved in writing by the Local Planning Authority. The facilities shall be provided in accordance with the approved details before the development is occupied and shall be retained thereafter.

Reason: In the interests of amenity and the recycling of waste materials in support of the Borough's waste reduction targets.

4. The parking areas serving each of the approved and retained dwellings shall be constructed prior to the first occupation of the dwelling hereby approved and shall thereafter only be used for the parking of private motor vehicles and shall not be used for any other purpose.

Reason: To ensure that the development complies with Unitary Development Plan Policies and to prevent the introduction of activity which would be detrimental to amenity.

5. The development shall not commence until details of siting and design of 2 secure cycle parking spaces for each of the approved and retained dwellings have been submitted to and approved in writing by the Local Planning Authority. The facilities shall be constructed in accordance with the approved details before first residential occupation of either of the proposed flats and shall be thereafter maintained for this purpose.

Reason: To ensure that the development complies with Unitary Development Plan Policies and does not prejudice conditions of safety or traffic flow on adjoining highways.

6. No development shall take place until an assessment has been carried out into the potential for disposing of surface water by means of a sustainable drainage (SuDS) scheme, in accordance with the principles of sustainable drainage systems set out in national planning policy guidance and statements, and the results of that assessment have been provided to the local planning authority. The assessment shall take into account the design storm period and intensity; methods to delay and control the surface water discharged from the site; and measures to prevent pollution of the receiving groundwater and/or surface waters.

Reason: To ensure that the proposal would not result in an unacceptable risk of flooding from surface water run-off or create an unacceptable risk of flooding elsewhere.

7. Surface water drainage works shall be carried out in accordance with details that have been submitted to, and approved in writing by, the local planning authority before the development commences. Those details shall include a programme for implementing the works. Where, in the light of the assessment required by the above condition, the local planning authority conclude that a SuDS scheme should be implemented, details of the works shall specify:

- i) a management and maintenance plan, for the lifetime of the development, which shall include the arrangements for adoption by any public authority or statutory undertaker or any other arrangements to secure the operation of the scheme throughout its lifetime; and
- ii) the responsibilities of each party for implementation of the SuDS scheme, together with a timetable for that implementation.

Reason: To ensure implementation and adequate maintenance to ensure that the proposal would not result in an unacceptable risk of flooding from surface water run-off or create an unacceptable risk of flooding elsewhere.

8. C07 Details of Materials
9. C09 Details of Hard Surfacing
10. C11 Details of Enclosure

11. C17 Details of Landscaping

12. The glazing to be installed in the west elevation (facing no. 22 Fountains Crescent) and the angled bay rear windows at ground and first floor level of the development indicated on drawing No.'s 469/12/E and 469/13/C received by the Local Planning Authority on 12th November and 5th September 2008, respectively, shall be fixed and in obscured glass. The glazing shall not be altered without the approval in writing of the Local Planning Authority.

Reason: To safeguard the privacy of the occupiers of adjoining properties.

13. C25 No additional Fenestration

14. C51A Time Limited Permission

Site and Surroundings

The site contains a two storey semi-detached dwelling with a large side garden. There are two vehicular accesses from Fountains Crescent, the first is adjacent to the existing dwelling serving the garage and the second is adjacent to the boundary with no. 26 Fountains Crescent. The surrounding area is characterised by a mixture of semi-detached and detached dwellings

Proposal

The proposal is for subdivision of the site and the erection of a detached 2-storey, 3-bedroom house to the side of the existing dwelling. The proposed dwelling would have a hipped roof, full height squared bay windows and a brick arch over a storm porch reflecting the features of the existing dwelling.

The scheme utilises an existing access to provide two parking spaces along the eastern boundary of the site.

Relevant Planning Decisions

TP/08/0886 Conversion of single family dwelling into 4 self contained flats involving a 2-storey side and single storey rear extension, accommodation in roof with rear dormer and associated parking and access at front, is reported elsewhere on this agenda.

Consultation

Public

Consultation letters have been issued to 78 neighbouring properties. In response, 29 letters have been received objecting to the proposal on the following grounds:

Highways

- Parking for residents and visitors
- Commuter parking
- Highway safety
- Narrow road
- Dangerous bend
- Pollution
- Emergency service access
- Child safety

- Opposite heavily used pedestrian access to Oakwood Park
- Need to reverse in or out of spaces

Character

- Change to streetscene
- Infilling will provide a cramped appearance
- Limited separation from adjoining properties
- Loss of open space and setting will adversely affect the character of the area
- Prominence of the site
- Proposal would be visually obtrusive
- Loss of local distinctiveness
- Loss of the Borough's heritage
- Conflict with 4B.8 'Respect of Local Context and Communities' of the London Plan
- Increased density, over that originally intended for the estate
- Proximity of the proposed building to the pavement
- Overdevelopment above the density set out in the London Plan
- Limited garden sizes
- Loss of visual gap within the streetscene
- Roof design and pitch would conflict with nearby dwellings

Amenity

- Overlooking and loss of privacy, aggravated by site levels, bay windows and limited separation
- Loss of daylight/sunlight
- Impact on visual amenities of nearby residents
- Subdivision of gardens resulting in increased activity and disturbance
- Additional refuse storage
- Flank wall would be oppressive
- Noise and disturbance
- Loss of view

Other

- Potential for short-term tenants
- Increased hardstanding and risks of flooding
- Loss of Trees and shrubs
- Affect on wildlife
- Disruption during construction
- Precedent
- No details of landscaped areas or hardstanding
- A public sewer crosses the site beneath the proposed house
- Combined impact of detached dwelled and proposed 4 flats
- Impact on existing infrastructure including a lack of local school places
- Covenants restrict maintenance and the loss of trees and bushes
- Lack of public consultation and insufficient time to comment on the application
- Lack of enforcement action on other developments
- Impact on original drainage and sewer system
- Loss of vegetation impacting on the environment

In addition, many of the letters comment that this proposal is preferable to the application currently being considered for extensions to form 4 flats (ref. TP/08/0886).

Following the receipt of amended plans further consultation letters have been issued; any supplementary comments will be reported at the meeting.

External

Thames Water does not object to the application, but seeks informatives relating to surface water drainage.

The Environment Agency raises no objection

Any other responses will be reported at the meeting.

Internal

Any response from the Director of Education, Child Services and Leisure will be reported at the meeting.

Relevant Policies

London Plan

3A.1	Increasing Supply of Housing
3A.2	Borough Housing Targets
3A.3	Maximising the potential of sites
3A.5	Housing choice
3A.6	Quality of new housing provision
3C.21	Improving Conditions for Cycling
3C.23	Parking Strategy
4A.3	Sustainable Design and Construction
4B.8	Respect local context and communities
Annex 4	Parking standards

Unitary Development Plan

(I)GD1	Regard to Surroundings / Integrated into Local Community
(I)GD2	Quality of Life and Visual Amenity
(II)GD3	Character / Design
(II)GD6	Traffic Generation
(II)GD8	Site Access and Servicing
(II)H6	Range of size and Tenure
(II)H8	Privacy and Overlooking
(II)H9	Amenity Space

Local Development Framework - Core Strategy Preferred Options

The Planning and Compulsory Purchase Act 2004 requires the Council to replace the UDP with a Local Development Framework (LDF). The LDF Core Strategy will set out the spatial vision and strategic objectives for the Borough. The Core Strategy is at an early stage in its adoption process. As this continues the weight given to it will grow and the relevant objectives are reported to demonstrate the degree to which the proposals are consistent with the emerging policy direction.

SO1	Sustainability and Climate Change
SO3	Protect and enhance Enfield's environmental quality;
SO6	High quality, sustainably constructed, new homes to meet the aspirations of local people
SO7	Distinctive, balanced, and healthier communities

- SO8 Affordable Housing, Family Homes and Social Mix
- SO11 Safer and stronger communities
- SO16 Preserve the local distinctiveness
- SO17 Safeguard established communities and the quality of the local environment

Other Material Considerations

- PPS1 Delivering Sustainable Communities
- PPS3 Housing
- PPG13 Transport

Analysis

Impact on Character and Appearance of the Surrounding Area

In principle, the detached single-family dwelling house would be in keeping with the form and pattern of development within the existing street scene. Moreover, the property retains 3.5 metres of separation to no. 26 Fountains Crescent and 7 metres narrowing to approximately 1 metres to the retained dwelling. It is considered that this represents adequate separation between the surrounding properties such that the proposed detached property would not appear a discordant form within the rhythm of the street scene.

The appearance of the proposed dwelling clearly reflects the style, eaves height and features of the properties within the surrounding area. In addition, the front elevation aligns with No. 26. As a result, the proposal would be visually sympathetic to the existing appearance as well as the rhythm of the street scene.

Concerns have been raised regarding the proposed roof pitch which due to its detached nature would differ from the existing houses. However, it is considered the difference between a 30 degree or 40 degree pitch would not be discernable as the eaves and ridge heights of those neighbouring properties would be mirrored by the proposed development. The design of the property therefore, is considered to be acceptable.

Concerns have also been raised regarding the precedent for further proposals. However, each application must be assessed on its own merits. In addition, with the exception of the side garden to no. 22 Fountains Crescent, there are few similar corner plots within the vicinity of the application site where a similar form of development could be proposed.

Density

The proposal results in 2 dwellings with 10 habitable rooms providing a density of 222 habitable rooms per hectare. This is slightly above the density range set out within the London Plan for a suburban area with a rating of PTAL 1 / 2. However, advice contained in PPS1 and PPS3, states that a numerical assessment of density must not be the sole test of acceptability; this must also depend on the attainment of appropriate scale and design relative to character and appearance of the surrounding area. In this instance, it is considered that the proposed dwelling is of a similar size, scale and design to the surrounding properties and retains a similar degree of spacing between properties that is present within the wider streetscene. As such, it is considered the proposal would not constitute an overdevelopment of the site.

Amenity Space

Each property would have 107 and 112 square metres respectively. This is above the 100% sought by Policy (II)H7 and with the majority of the space to the rear of the houses, it is

considered that this represents a significant area with a high amenity value for any future occupiers.

Impact on Neighbouring Properties

There would be no impact on No. 22 Fountains Crescent in term of loss of light or outlook due to the development being on the opposite side of No 24. Any views from the rear windows over the rear garden of No 22 would be across the garden of the retained dwelling at distances in excess of 7.5m. On this basis, this relationship is considered acceptable.

The flank wall of No. 26 Fountains Crescent contains five windows. At ground floor, there are 2 kitchen and one pantry window and at first floor, there is a landing and a bathroom window. With the exclusion of the two kitchen windows, all of the above are obscured and do not serve habitable rooms. The two kitchen windows are also largely obscured with only the narrow top opening light in clear glass. Whilst it is accepted that there will be some impact on the existing side facing kitchen windows, these windows face an existing fence at a distance of approximately 1 metre. In addition, the windows are largely obscured and only afford views over the adjoining occupiers land. It is considered that the relationship would not cause an unacceptable loss of amenity.

Due to the siting and orientation of the proposed property, there does exist potential for overlooking from the angled bay windows to both no. 26 and 22 Fountains Crescent. To address this, it is considered reasonable to require them through a condition, to be fixed and obscured to prevent any unacceptable level of overlooking.

No. 26 Fountains Crescent is sited on ground approximately 0.5 to 1 metre lower than the application site. To ensure there is no additional impact not considered here, a condition is proposed to ensure that that proposed dwelling is constructed at an equivalent level.

Concerns have been raised regarding the potential for noise and disturbance due to the location of parking along the boundary with No.26 Fountains Crescent. However, the existing crossovers already serve these spaces and there would be no planning restrictions to prevent the current occupiers parking vehicles in this location. Nevertheless, a more intensive use of this area is likely due to an existing. However, due to a 1.8 metre high fence along this boundary and in the absence of any bedroom windows in the flank elevation, it is considered the level of vehicle movements associated with these 2 parking spaces would not give rise to conditions that would be detrimental to the amenities of the adjoining occupiers through noise and disturbance.

Parking and Access

The amended proposal utilises existing crossovers and as such will not impact upon the existing street trees and shrubs. The addition of a 3 bedroom detached dwelling would result in only a very limited increase in traffic movements in this residential street which would have no discernable impact on traffic flow.

The proposal includes two off-street parking spaces per unit and is considered acceptable.

Other Matters

Concerns have been raised regarding the potential for an increased risk of flooding. However, the site falls outside of the 1 in 1,000 year flood risk envelope. In addition, a condition is proposed requiring the submission of details regarding a sustainable drainage system to mitigate any additional surface water run-off from the hard standing area.

Sustainable Design and Construction

The proposal incorporates timber double glazed windows, timber materials from sustainable sources, lifetime home standards and positive use of natural light. In addition to these measures, a sustainable drainage system will be required by condition. As such, it is considered that the proposal is acceptable in terms of its sustainability.

Conclusion

In the light of the above assessment, it is considered that the proposed be granted for the following reasons:

1. The subdivision of the site and erection of a detached 3-bed dwelling with associated car parking would contribute to increasing the range and quantity of the Borough's housing stock having regard to policies (I)GD1, (I)GD2 and (II)H6 of the Unitary Development Plan, policies 3A.1, 3A.2, 3A.3, 3A.5 and 3A.6 of the London Plan (2008), as well as the objectives of PPS1 and PPS3
2. The subdivision of site and erection of a detached 3-bed dwelling with associated car parking would not detract from the character and appearance or the visual amenities of the surrounding area, having regard to Policies (I)GD1, (I)GD2 and (II)GD3 of the Unitary Development Plan and Policy 4B.8 of the London Plan (2008), as well as the objectives of PPS1 and PPS3.
3. The subdivision of site and erection of a detached 3-bed dwelling with associated car parking would not unduly affect the amenities of adjoining or nearby residential properties having regard to Policies (I)GD1 and (I)GD2 of the Unitary Development Plan, as well as the objectives of PPS1 and PPS3.
4. The subdivision of site and erection of a detached 3-bed dwelling with associated car parking would not prejudice through overlooking or loss of privacy, the amenities enjoyed by neighbouring properties, having regard to Policy (II)H8 of the Unitary Development Plan, as well as the objectives of PPS1 and PPS3.
5. The subdivision of site and erection of a detached 3-bed dwelling with associated car parking including the provision of 4 off-street parking spaces and 4 secure cycle spaces would not give rise to unacceptable on street parking, congestion or highway safety issues, having regard to Policies (II)GD6, (II)GD8 and (II)T13 of the Unitary Development Plan and Policy 3C.23 of the London Plan (2008), as well as the objectives of PPG13.

No scaled dimensions to be taken from this drawing. All dimensions to be site checked.

CG ARCHITECTS
221 East Barnet Road,
Barnet, Herts EN4 8QS
Tel: 020 8449 5100
Fax: 020 8449 5170

Client: Mr G Papatthomas

Site: 24 Fountains Crescent
London N14 6EB

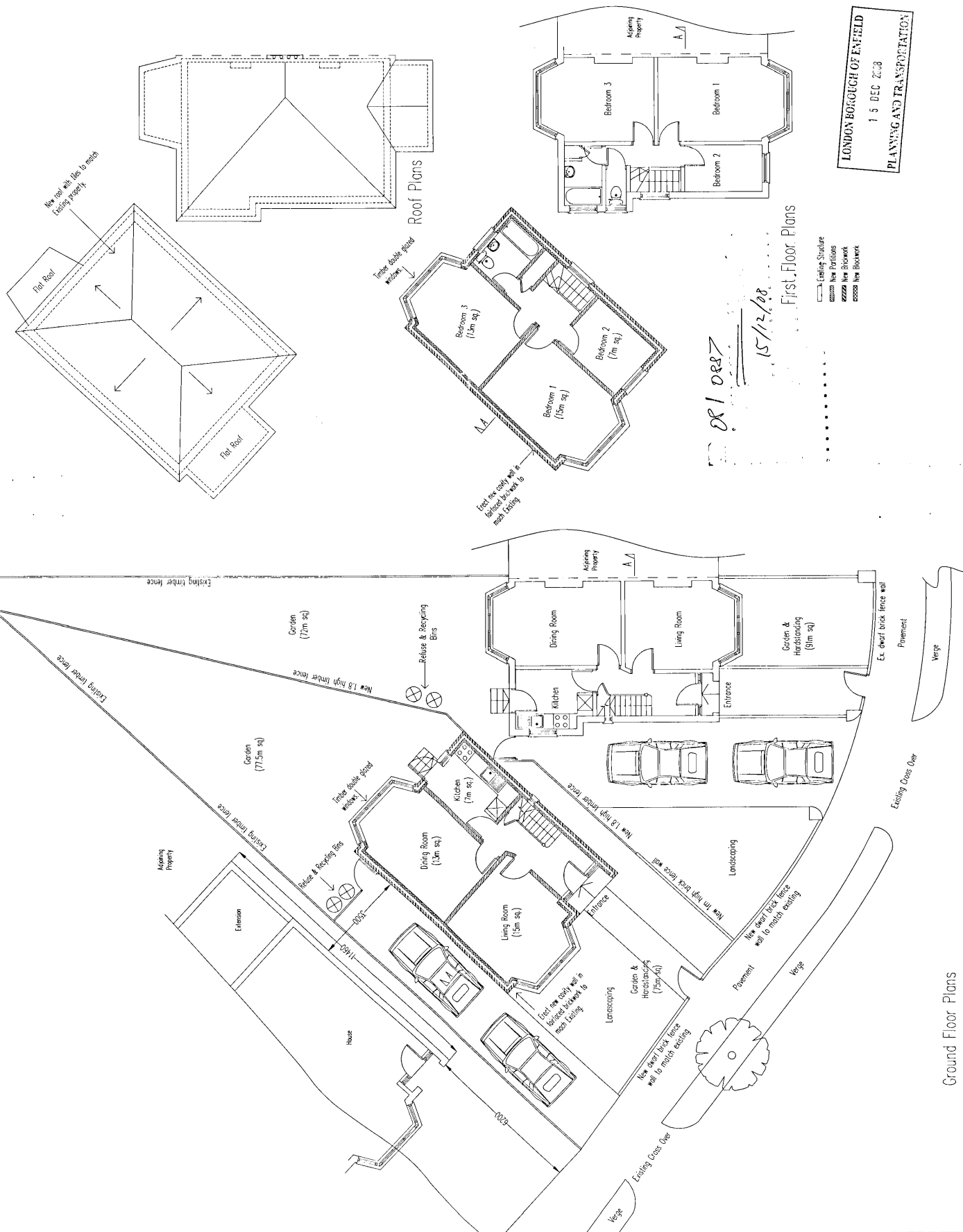
Scale: 1:100

Drawn:

Date: April 2008

Title: Floor Plans As Proposed

Org. No. 469/12
Rev. F



LONDON BOROUGH OF ENFIELD
15 DEC 2008
PLANNING AND TRANSPORTATION

DR! ORRZ
15/12/08
First Floor Plans

Existing Structure
New Partitions
New Brickwork
New Blockwork

Ground Floor Plans

TP/08/2020



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Scale 1/1250 Date 14/1/2009

Centre = 532626 E 196360 N

Application Number: TP/08/2020 **Ward:** Grange
Date of Registration: 18th November 2008

Contact: Sharon Davidson 3841

Location: VACANT LAND, adjacent to 81, CECIL ROAD, ENFIELD, EN2 6TJ

Proposal: Erection of replacement church comprising auditorium, coffee bar, crche, and kitchen at ground floor, classrooms at first floor level and meeting rooms and offices at second floor level, together with associated car parking and vehicular access to Cecil Road. (Revised scheme).

Applicant Name & Address:

Enfield Evangelical Free Church
C/O Agent

Agent Name & Address:

Mr Luke Emmerton, DP9
100, Pall Mall
London
SW1Y 5NQ

Recommendation: That subject to the completion of a S106 Agreement to secure a contribution to off-site landscaping and towards review of the hours of the existing Controlled Parking Zone, planning permission be **GRANTED** subject to the following conditions:

1. Notwithstanding the notation included on the submitted plans, the development shall not commence until details and/or samples of all external finishing materials to be used have been submitted to and approved in writing by the Local Planning Authority. The development shall be constructed in accordance with the approved details.

Reason: To ensure a satisfactory external appearance and safeguard the character and appearance of this part of the Enfield Town Conservation Area.

2. That development shall not commence until detailed drawings, including sections, to a scale of 1:20 or greater, of a sample panel through the building showing the proposed glazing (including the brise soleil) and stone cladding, shall be submitted to and approved in writing by the Local Planning Authority. The development shall be completed in accordance with the approved details prior to occupation.

Reason: To safeguard the character and appearance of this part of the Conservation Area and the setting of the existing building.

3. C09 Details of Hard Surfacing
4. C10 Details of Levels
5. Notwithstanding the notation provided on the submitted drawings, the site shall be enclosed in accordance with details to be submitted to and approved in writing by the Local Planning Authority. The means of enclosure shall be erected in accordance with the approved details before the development is occupied.

Reason: To ensure a satisfactory appearance and safeguard

6. C14 Details of Access and Junction
7. C16 Private Vehicles Only - Parking Areas
8. No development shall take place until full details of both hard and soft landscape works have been submitted to and approved in writing by the Local Planning Authority. Soft landscape works shall include planting plans, written specifications, schedules of plants, noting species, plant sizes and proposed numbers/densities where appropriate and implementation programme. All hard and soft landscape works shall be carried out in accordance with the approved details. The works shall be carried out prior to the occupation of any part of the development or in accordance with the programme agreed with the Local Planning Authority.

Reason: To provide a satisfactory appearance and ensure that the development does not prejudice highway safety.

9. C18 Details of Tree Protection
10. C19 Details of Refuse Storage
11. C20 Details of Fume Extraction
12. That development shall not commence on site until a construction methodology has been submitted to and approved in writing by the Local Planning Authority. The construction methodology shall contain: a photographic condition survey of the adjoining roads and footways around the site; details of construction access, arrangements for vehicle servicing and turning areas; arrangements for wheel cleaning; arrangements for the storage of materials; and details of hours of work. The development shall then be undertaken in accordance with the approved construction methodology unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure that the implementation of the development does not lead to damage to existing roads, prejudice highway safety or the free-flow of traffic on adjoining highways, and to minimise disruption to neighbouring properties.

13. The development shall not commence until details of the design of the cycle parking spaces and enclosure have been submitted to and approved in writing by the Local Planning Authority. The cycle parking spaces shall be provided in accordance with the approved details and shall thereafter be permanently retained for cycle parking.

Reason: To ensure the provision of cycle parking in line with the Council's adopted standards.

14. That the doors on the southern elevation of the building shall be kept closed at all times when the auditorium is in use.

Reason: To safeguard the amenities of the occupiers of neighbouring properties

15. That other than for the purposes of worship, the building shall not be used other than between the hours of 0800 and 2300 daily.

Reason: To safeguard the amenities of the occupiers of neighbouring properties

16. That the sun terrace and secure garden area shall not be used other than between the hours of 0800 and 2100 hours daily.

Reason: To safeguard the amenities of the occupiers of neighbouring properties

17. That development shall not commence until details of any external lighting to be installed have been submitted to and approved in writing by the Local Planning Authority. The lighting shall be installed in accordance with the approved details.

Reason: In the interests of amenity and to safeguard the character and appearance of this part of the Enfield Town Conservation Area.

18. That prior to the commencement of development a detailed Sustainability Statement for the building shall be submitted to and approved in writing by the Local Planning Authority and the development shall be completed in accordance with the particulars approved. The Statement shall include:

- i) A full Energy Assessment;
- ii) Demonstrate that the proposed heating and cooling system has been selected in accordance with the following order of preference: passive design; solar water heating; combined heat and power, for heating and cooling, preferably fuelled by renewable; community heating for heating and cooling; heat pumps; gas condensing boilers and gas central heating; and
- iii) Details of the renewable energy technologies to be incorporated demonstrating the proportion of energy demand they meet.

Reason: To demonstrate that the scheme will comply with the energy efficiency and sustainable development policy requirements of the London Plan.

19. That the existing pedestrian entrance into the Town Park shall be retained and maintained available for public use until such time as a new entrance has been provided.

Reason: To safeguard public access to the Town Park

20. C51A Time Limited Permission

Site and Surroundings

The site is located on the south side of Cecil Road and is presently used as a surface car park. It includes the existing access to the Town Park that runs along the eastern boundary of the car park. The site is bounded by existing residential properties fronting Cecil Road and Raleigh Road to the east, the Town Park to the south (designated as Metropolitan Open Land) and the balance of the car park site and open land to the west, to be sold by the Council for redevelopment.

The site is located within the Enfield Town Conservation Area and is located within an Area of Archaeological Importance

Amplification of Proposal

This application proposes the development of the site by the erection of replacement church comprising auditorium, coffee bar, crèche, and kitchen at ground floor, classrooms at first floor level and meeting rooms and offices at second floor level. The church is a replacement of the former Evangelical Church that was sited further east on Cecil Road and was the subject of a compulsory purchase order to facilitate the Phase 2 development of the Town Centre, now completed. Vehicular access to the site is taken from Cecil Road and provision is made for 11 car

parking spaces. Pedestrian access is available to Cecil Road and provision is also made for access via any new park entrance that may ultimately be provided along the western boundary of the site.

Relevant Planning Decisions

TP/00/0978 Planning permission granted for the construction of temporary car park in connection with the redevelopment of Enfield Town Centre, Phase II. This permission has been renewed on a number of occasions. The latest permission (LBE/08/0013) is due to expire on 31st May 2009.

TP/06/0514 Application for the erection of a replacement church incorporating kitchen, office and crèche area on ground floor, teaching/seminar rooms at first floor, meeting and study rooms at second floor level, together with associated car parking and vehicular accesses to Cecil Road on the parcel of land to the west of the current application site was withdrawn when it became known that a culvert ran through part of the site preventing the erection of a building of the size proposed.

TP/08/0515 A planning application for the erection of a replacement church on the application site earlier this year was withdrawn due to concerns regarding its size, bulk and design.

Consultations

Public

Letters have been sent to the occupiers of 82 adjoining and nearby properties. In addition, the application has been advertised on site and in the local press. Twenty eight letters of objection have been received, including from the Friends of Town Park, raising the following issues:

- The 'public consultation' exercise undertaken by the Church prior to the application was inadequate
- Site should be reinstated as part of the Park
- The application site encroaches onto designated park land
- Loss of convenient access into Park
- Loss of sunlight, privacy and outlook
- Impact on trees.
- Noise and disturbance; live music and discos would be unacceptable
- Operating hours of between 6am and 11pm unreasonable and will have detrimental effect on residents amenity and personal safety
- Insufficient parking proposed to support the use.
- Existing parking controls only effective between 9am and 6pm weekdays and Saturdays.
- High volume of people and cars with impact on pedestrian and highway safety in local roads.
- Building too big for the plot and intrusive from the Park, spoil its setting
- Design is unacceptable, does not fit in with the Conservation Area or the character and scale of neighbouring houses.
- Loss of car park and facilities for people, particularly the disabled to park and access the Town Park facilities
- Not environmentally sustainable.
- Impact on drainage/flooding
- Overlook the Park, including the activities of children
- The display of religious symbols towards the Park is not acceptable.

- Already have a café in the park. Do not need another coffee shop which will take away business from the café
- Existing footpath routes and landscaping within the Park will need to be reviewed as a consequence of any development.

In addition 18 letters in support of the proposals have been received.

The Enfield Society advises that “the latest design is the best yet to emerge from a process of gradual improvement. It should prove a fitting occupant of this prominent and sensitive site.”

External

The London Fire and Emergency Planning Authority is satisfied with the proposals.

Thames Water advises that there are sewers crossing the site and no building can be erected within 3m of them without first obtaining Thames Water’s approval.

The Environment Agency raises no objection subject to a condition controlling finished floor levels, to protect the development from flooding.

Internal

None

Conservation Advisory Group

The Group support the scheme and raise no objections subject to clarification on the palette of materials, which they considered to be expressed too flexibly. They ask that the palette of materials ultimately be referred back to the Group for their consideration.

Relevant Policy

London Plan

3C.1, 3C.21, 3C.22 & 3C.23 Integrating transport and development

3D.1 Supporting town centres

4A.1, 4A.3 Tackling climate change

4B.1 Design principles for a compact city

4B.5 Creating an inclusive environment

4B.8 Respect local context and communities

4B.12 Heritage Conservation

Unitary Development Plan

(I)C1 Conservation Areas, preserve or enhance

(II)C30 New buildings within conservation areas to replicate, reflect or compliment the traditional characteristics of the area.

(II)C31 To seek to secure the removal of features which serve to detract from the character or appearance of conservation areas.

(II)C38 & 39 Trees of public amenity value

(I)GD1 New development to have appropriate regard to its surroundings

(I)GD2 New development to improve the environment

(II)GD1 Development to be appropriately located

(II)GD3 Design and character.

- (II)GD6, GD8 Traffic implications, access and servicing
- (II)T13, 16,19 Vehicle, pedestrian and cycle access
- (II)CS5 To encourage the provision of meeting places for ethnic, religious or voluntary groups in suitable locations
- (II)ET8 To provide temporary replacement car parking on the Cecil Road site and then to develop the site for sheltered housing

Other relevant policy

- PPS1 Delivering sustainable development
- PPG13 Transport
- PPG15 Planning and the Historic Environment

Analysis

Principle

The application site is identified as a development site in the Unitary Development Plan and it has never been the intention to integrate the site as part of the Town Park, once the need for the temporary car park ceased. Moreover, none of the application is designated as Metropolitan Open Land. Accordingly, there is no objection in principle to the development on the site. Its use for the erection of a replacement Evangelical Church is considered appropriate in principle, given the Town Centre location with good access to public transport and existing public parking facilities. The inclusion of a coffee bar within the building is considered acceptable and supports the community use. Competition between operators is not a material planning consideration.

Objections have been raised to the effect that the proposal involves development on part of the Park. The land that would be transferred by the Council to the Church extends only to that land acquired to facilitate the temporary car park. The strip of land along the eastern boundary that incorporates the existing Park access is not in Council ownership, albeit the Council has rights of access over it; the land is unregistered and it is not possible to find out who the owner is. This current access strip does not form part of the unregistered Town Park title that is vested in the Council.

This strip of land has been included in the application site at officer's request. If it were not included, at the point that a new Park entrance is provided to the west, it would be redundant as a means of access to the Park and its future would be uncertain particularly as ownership is unknown. It is considered more beneficial to integrate the strip of land into the Church site and allow its use for landscaping to the eastern boundary. Clearly, conditions will be required to ensure that the access is not closed until such time as a new entrance is in place.

Impact on the Conservation Area

The existing temporary car park does not make a positive contribution to the character and appearance of this part of the Conservation Area. Its removal provides an opportunity to reinstate the built frontage to this part of Cecil Road and remove the 'gap' that the car park created.

The design and scale of the building proposed has been the subject of extensive discussion and consultation with the Conservation Advisory Group. The design is now considered acceptable and fitting for the site. The contemporary approach is considered appropriate; the scale and function of the church is completely different from that of the adjoining domestic properties and a design approach that seeks to replicate their characteristics would not therefore be appropriate. The building would be finished externally in stone, with substantial areas of glazing and the roof with a pre-patinated copper coloured standing seam roof. Whilst surrounding development is

primarily brick and tile/slate construction, a stone and glass finish is considered more appropriate for a Church of the size and scale proposed. Samples of all materials would be required by condition and can be referred back to CAG as requested, on submission.

The proposed building is substantial in size and scale, significantly larger than the domestic properties it will adjoin. However, it will have a relatively open setting, supplemented by a new Park entrance to the west and the Town Park to the south. Whilst the Church provides accommodation over three floors, the top level accommodation is limited to the front section of the building only and is recessed from both the front and side faces of the building, reducing its impact at street level. Despite the scale of the building, it should not appear cramped on the site.

The proposals will introduce a substantial building in proximity to the Park and this will represent a marked change from the present open setting it enjoys at this point along its boundary. Nevertheless it is considered that the change will not necessarily harm the character and setting of the Park and the Church have agreed to a contribution of £5,000 towards additional tree planting within the Park to assist in mitigating any impact. This will need to be secured through a S106 Agreement.

Overall it is considered that the development is appropriate to its setting and will enhance this part of the Conservation Area.

Impact on neighbours

The nearest affected properties are those to the east of the application site, fronting Cecil Road and Raleigh Road. The building is positioned between 14.5m and 17m from the eastern boundary and at this distance it will not result in any significant loss of sunlight or daylight. The site is presently open and therefore the erection of a building of the size and scale proposed will be visible from the adjoining residential properties. However, given the separation distances involved it is not considered that the development will dominate residents outlook or result in an unacceptable loss of privacy. Particularly, the inclusion of the existing park access and the opportunity for additional planting within it, will provide soften views of the building.

Concerns raised by residents about noise associated with use of the building are noted. Noise generated by activity within the building should generally be contained by the building; the applicant has confirmed that the doors shown on the southern elevation of the building are for fire escape purposes only and would remain closed during services. Conditions can be used to secure this. The doors provide access on to a sun terrace and thereafter a secure garden area. Use of this area is likely to be limited to warmer days and having regard to other activities likely to be going on such days and a more intensive use of the park, it is considered will not have a significant impact on the amenities of residents. Conditions are recommended to prevent use of the garden area/sun terrace late evening in the event that functions are held at the church. Moreover, other than for worship, it is recommended that use of the building be restricted to between 0800 and 2300 daily, to safeguard the amenities of adjoining residents.

Traffic, access and parking

The site would be unable to make provision for car parking to meet the needs of the proposed congregation and therefore it is considered more appropriate to limit the number of spaces provided so that attendees do not have an expectation to be able to park and instead use the public car parks. The site is located within the Town Centre, well served by public transport and public car parks and therefore this approach is considered acceptable. However, it is recognised that the site is close to residential roads where on-street parking restrictions do not apply on Sundays. Accordingly, the Church has been asked to contribute towards a review of the Controlled Parking Zone to establish whether the existing hours of operation require amendment.

A contribution of £5,000 will be made initially to allow survey work of the existing situation to be undertaken, the parking situation will be monitored for a period of 12-18 months with a further £20,000 being paid towards a review of the CPZ if it is apparent that the Church development has led to increased parking in residential streets. The contribution will need to be secured by a S106 Agreement. The extra parking demand generated by the Church development also warrants the preparation and implementation of a Travel Plan and this will also need to be the subject of a S106 Agreement.

A new heavy duty site access is required to support the use. The sight line from the access could be compromised to the east by the existing street tree (Horse Chestnut). The tree may well have to be removed, but if retained will require very careful work associated with construction of the access. If the tree has to be removed, the applicant will be expected to fund the planting of a replacement tree in a position to be agreed.

The provision of the access will require the relocation of the nearby traffic island and new white lining. An alighting bus stop will also have to be re-sited. Waiting restriction revisions will also be required close to the site. A S278 Agreement can address these matters, together with the relocation of any existing statutory undertakers plant/equipment in the highway affected by the proposed works and the planting of a replacement tree, if required.

Pedestrian access to the site is acceptable. Provision is made both to the Cecil Road frontage and to any new Park access to the west.

Impact on trees

The application does not propose the removal of any trees. However, as noted above, the existing street tree may have to be removed to facilitate the access to the site. This is a prominent and attractive tree. However, the wider benefits of the proposals are recognised and therefore the tree may have to be sacrificed to achieve these. Replacement planting can be achieved to compensate for this.

Sustainable Design and Construction

The development achieves a good score against the Council's sustainable development assessment. The design of the building, including the use of large areas of glazing, will mean that it benefits from solar gain in the winter, reducing the heating and artificial lighting requirements. An external 'brise soleil' will reduce excessive solar gain in the summer months. High levels of insulation are proposed to reduce heat loss. High performance double glazing with solar control coating is proposed to reduce heat losses, reduce summer solar gain, whilst maximising daylight into the building. The proposed stone cladding is a sustainable building material, which has unlimited potential for re-use and no cement content. The building has also been designed so that the following technologies might be incorporated:

- Significant south facing roof slope capable of accommodating solar thermal and/or photovoltaic panels
- Rainwater harvesting potential
- Potential for source heat pump and heat recovery M&E systems.

The applicant will be required through condition to examine the potential of these systems in order to seek to achieve the London Plan target of a reduction in CO2 emissions of 20% from renewable energy.

Conclusion

In conclusion, it is considered that the proposed development is acceptable and allows the Church again to have permanent facilities in the heart of the Town Centre. It is recommended that planning permission be granted for the following reasons:

- 1 The site is identified as a development site in the adopted Unitary Development Plan and the proposed use is appropriate for this Town Centre site, with good access to public transport and public car parks. In this respect the development complies with Policies (I)GD1, (II)GD1 and (II)CS5 of the Unitary Development Plan.
- 2 Subject to the conditions imposed, the proposed building is appropriate to its setting and will enhance this part of the Enfield Town Conservation Area. In this respect the proposal complies with Policies (I)C1, (II)C30, (II)C31, (I)GD1 and (II)GD3 of the Unitary Development Plan.
- 3 Subject to the S106 Agreement and the conditions imposed, the development should not have a detrimental impact on local highway conditions and the amenities of the occupiers of adjoining and nearby residential properties. In this respect the development is in accordance with Policies (I)GD1 and (II)GD6 of the Unitary Development Plan.
- 4 The proposed access, parking and turning facilities meet the relevant technical standards and the level of on site parking is considered appropriate to support the proposed use given the Town Centre location. In this respect the development is in accordance with Policies (II)GD8, (II)T13, (II)T16 and (II)T19 of the Unitary Development Plan.

TP/08/2090



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Scale 1/1250 Date 13/1/2009

Centre = 530612 E 193324 N

Application Number: TP/08/2090 **Ward:** Southgate Green

Date of Registration: 2nd December 2008

Contact: Richard Laws 3605

Location: Land in between, 85 And, 87, Ulleswater Road, London, N14 7BN

Proposal: Erection of a 2-storey 2-bed single family dwelling house incorporating lower ground floor (revised scheme).

Applicant Name & Address:

Mr Vivian Storey
87, ULLESWATER ROAD
LONDON
N14 7BN

Agent Name & Address:

Mr Amir Aramfar, Metropolis Planning & Design
30, Underwood Street
London
N1 7JQ

Note for Members

Although an application of this nature would normally be determined under delegated authority, the application is reported to Planning Committee at the request of Councillor Prescott due to the level of interest expressed by local residents.

Recommendation: That planning permission be **GRANTED** subject to the following conditions:

1. C07 Details of Materials
2. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (as amended by Town and Country Planning (General Permitted Development) (Amendment) (No2) (England) Order 2008) no development within schedule 2, Part 1 Classes A to E shall be carried out either to the proposed dwelling or within its curtilage unless planning permission for such development has first been granted by the Local Planning Authority

Reason : To safeguard the amenities of the occupiers of adjoining properties and ensure an adequate level of amenity space is retained.

3. The rear curtilage area/ boundary for the proposed dwelling edged red on the site location plan(1:1250) and site plan drawing 005A (received on 6th January 2009) shall be retained in perpetuity as amenity space in connection solely with this property and shall not be further subdivided or reduced in size.

Reason : To ensure that satisfactory amenity space is retained so as to accord with policy (II) H9 of the Unitary Development Plan.

4. C10 Details of Levels

5. C09 Details of Hard Surfacing
6. C16 Private Vehicles Only - Parking Areas
7. C11 Details of Enclosure
8. C19 Details of Refuse Storage
9. C25 No additional Fenestration
10. C51A Time Limited Permission

Site and Surroundings

The site lies between the Nos 85 and 87 Ulleswater Road and formerly contained a garage/store attached to the flank wall of No 87.

The street scene is composed of traditional Edwardian family dwellings: the appearance of which is influenced by the use of brick, tile and render. Mostly semi detached, the separation between properties along the road is minimal and thus, does not form an important characteristic of the street.

Proposal

Permission is sought for a two-storey dwelling including a lower ground floor basement situated in an existing gap between the side flank walls of numbers 85 and 87 Ulleswater Road. One parking space is proposed on the front curtilage.

Relevant Planning Decisions

TP/07/2194 - Erection of 2 storey dwelling with lower ground floor was refused planning permission in January 2008. An appeal against the decision was dismissed In August 2008.

TP/08/0516 - Erection of 2 storey dwelling with lower ground floor was refused planning permission in May 2008.

TP/06/2366 - Two storey side extension to 87 Ulleswater Road with mansard roof and front dormer to north elevation and formation of mansard roof to south elevation with front dormer granted planning permission in February 2007 – now implemented.

Consultations:

Public:

Consultation letters were sent to 30 neighbouring properties. In response 10 letters of objection have been received objecting on the following grounds:

- Application previously rejected
- Proposal doesn't appear to conform to amenity standards
- Site boundaries confusing
- Result in terrace appearance
- Rooms in new house narrow
- Repairs to property will not be able to be undertaken
- 3-storey building in design as basement included, choice of external finishes out of

- keeping
- Application doesn't accurately show adjoining property
 - Overdevelopment of site, inappropriate development for area
 - Application contains a number of errors
 - Increase parking in the area, in particular in the evening
 - Reduce garden area for number 87
 - Site area very restricted
 - Doesn't cater for refuse
 - Not in keeping with Edwardian architecture

In addition, the Fox Lane and District Residents Association also raise objection on the following grounds:

- Design of dwelling incompatible with other properties in the area
- Lower ground floor interfere with sewerage system
- Proposed building taller than previous applications results in bulky appearance out of keeping
- Frontage bland without relief i.e. no bay window/ porch, front door not visible from street
- Impossible for maintenance purposes for adjoining properties
- Support residents objections

External: Thames Water- No objections raised

Internal: None

Relevant Policy

London Plan

- 3A.1 Increasing London's supply of housing
- 3A.2 Borough housing targets
- 3A.3 Maximising the potential of sites
- 3A.6 Quality of new housing provision
- 3C.23 Parking strategy
- 4A.3 Sustainable design and Construction
- 4B.1 Design Principles for a compact city
- 4B.8 Respect local context

Unitary Development Plan

- (I) GD1 Regard to surroundings
- (I) GD2 Quality of Life/ Visual Amenity
- (II) GD3 Aesthetic and Functional Design
- (II) GD6 Traffic Generation
- (II) GD8 Site access & Servicing
- (II) H8 Privacy
- (II) H9 Amenity space
- (II) H14 Terracing

Local Development Framework- Core Strategy Preferred Options

The Planning and Compulsory purchase Act 2004 requires the Council to replace the UDP with a Local Development Framework (LDF). The LDF core strategy will set out the spatial vision and

strategic objectives for the Borough. The core strategy is at an early stage in its adoption process. As this continues the weight given to it will grow and the relevant objectives are reported to demonstrate the degree to which the proposals are consistent with the emerging policy direction.

- SO1 Sustainability and Climate Change
- SO3 Protect enhance Enfield's Environmental quality
- SO6 High Quality, new homes to meet aspirations of Local People
- SO7 Distinctive, balanced and healthier communities
- SO11 Safer and stronger communities
- SO16 Preserve local distinctiveness
- SO 17 Safeguard established communities

Other Material Considerations

- PPS1 Delivering Sustainable Development
- PPS3 Housing
- PPG13 Transport

Analysis

Background

In dismissing the appeal against the refusal of planning permission, the Inspector raised two key issues: (i) that the proposed materials were out of keeping detracted from the appearance of the development in the street scene and (ii) that the level of amenity space was substandard.

Concerns have been expressed regarding the width of the proposed dwelling and the resultant form of the residential accommodation. Although it does have a smaller floor area than surrounding properties, the Inspector did not consider this to be a ground upon which to dismiss the appeal

Appearance in Street Scene

The concern identified by the Inspector previously related to the use of timber cladding on the front elevation as well as the appearance of the green sedum roof. These elements were considered to be out of keeping with the wider and more traditional street scene.

It is now proposed to render the front elevation and use tiles for the roof in keeping with the appearance of the surrounding properties.

The incorporation of a rendered finish to the front elevation is an attempt to acknowledge the development is more contemporary and as there is a mix of brick, render/brick, and painted brick in the immediate vicinity, it is considered that this approach is acceptable in street scene. In addition, the more traditional appearance of the tiles is also considered acceptable.

Concern has been raised regarding the infilling of the space between these two properties. However, due to the existing close appearance of the properties within the street scene, the Inspector concluded that the existing gap represented something of a discontinuity in the façade, and the mass of the new building would be in keeping with that of Nos 85 and 87 and would restore some continuity of the terrace type appearance. No objection was therefore raised and there have been no material change in circumstances pertaining to this issue in the interim. Accordingly, no objection is raised to the acceptability of the development infilling this space between the two dwellings notwithstanding the narrow width of proposed dwelling.

Notwithstanding this, the design and profile of the roof has also changed from a curved roof to a pitched roof, which is more in keeping when viewed from the front street scene elevation. Furthermore, the footprint of the dwelling, 0.9 metres in front of No.87 and 0.4 m behind No.85, is also considered to be acceptable in visual terms.

Amenity Space

The amount of amenity space in this application has been increased size, compared with the previous application dismissed on appeal by allocating more of the original garden from No.97 Ulleswater Road and now meets the minimum 60 sqm set out in Policy (II) H9. The amenity area is considered to be sufficient for future occupiers whilst it is also considered that satisfactory rear amenity space is retained for the existing dwelling 87 Ulleswater Road.

Impact on Amenities of adjoining properties

There are no flank windows to 85 Ulleswater Road and thus, the siting of the proposed dwelling would not impact on the residential amenities of either 85 or 87 Ulleswater Road in terms of loss of privacy/ outlook.

The dwelling would project approximately 500mm beyond the original rear two storey wall of No. 85. However, due to the presence of a single storey rear extension, the projection beyond the first floor element is considered not to have any adverse effect on light or outlook.

In terms of impact on No.87 Ulleswater Road (owned by the applicant), it is considered that the siting would not adversely impact on the nearest recessed rear bedroom window due to this not being the sole light source to this room: there being a front window as well.

Traffic/Parking

One parking space is provided in front of the proposed dwelling. Whilst the demolition of the existing garage has theoretically resulted in a loss of off street parking two spaces would remain for the existing dwelling (No 87).

As a result, it is considered that adequate parking would be available for both the existing and proposed dwellings having regard to relevant policies on parking and would not lead to an increase in on street parking to the detriment of safety. Moreover, the Inspector in the previous appeal when considering this matter raised no objection.

Sustainable Design And Construction

The proposal incorporates a number of sustainable features including the use of untreated timber frames with, walls to be insulated with wood chippings and windows constructed of timber. In addition, the building's design and construction means it is air tight using paper and insulated wood shavings and creates a highly energy efficient dwelling. Accordingly, it is considered that the proposal is acceptable in terms of sustainability.

Conclusion

In the light of the above, it is recommended that planning permission be granted for the following reasons:

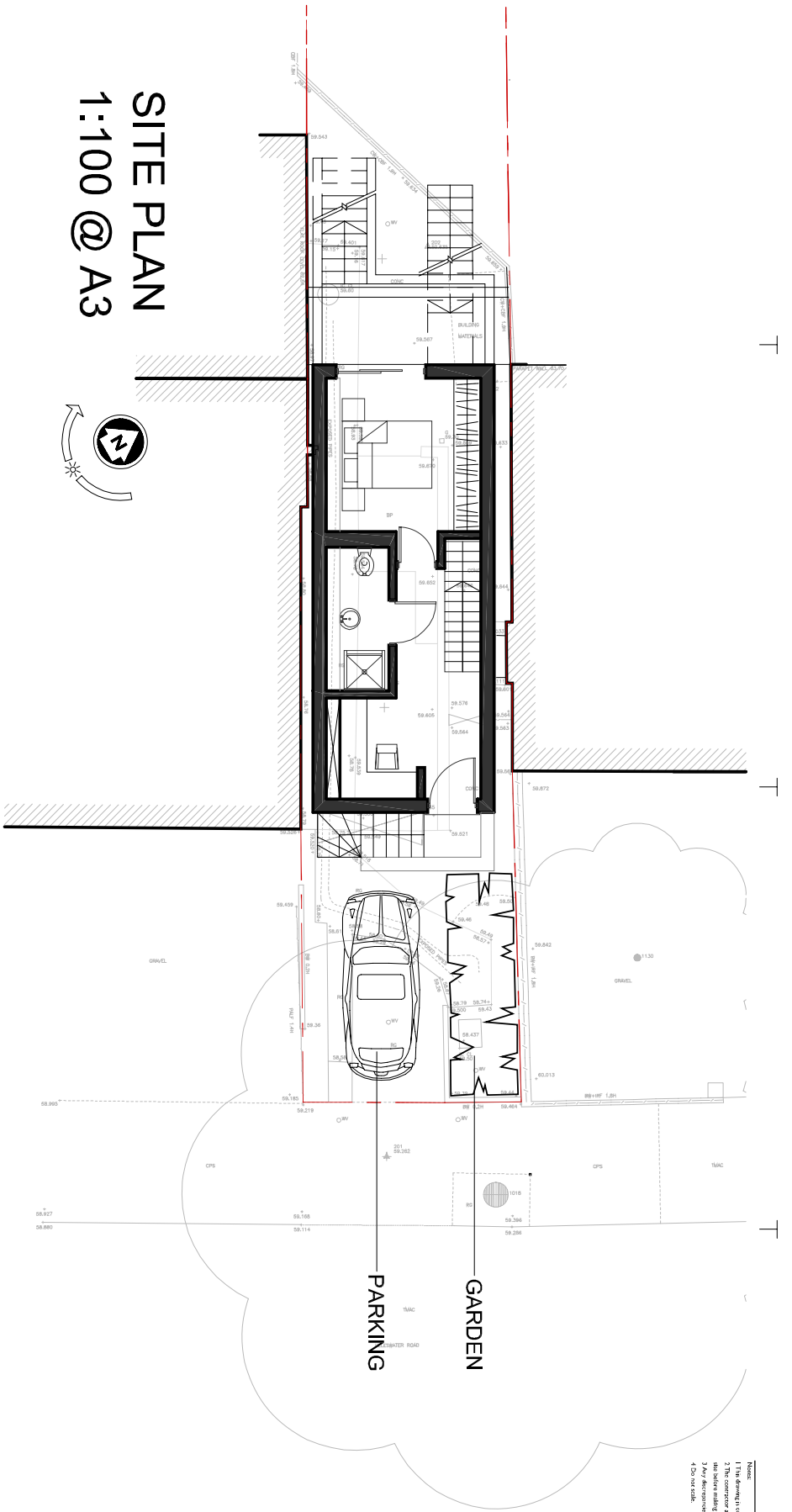
1. The proposed dwelling by virtue of its size, siting, design and appearance would satisfactorily integrate into the street scene and would not impact on the amenities of adjoining neighbours having regard to Policies (I) GD1, (I) GD2, (II) GD3 (II) H14 and (II) H8 of the Unitary

Development Plan, Policy 4B.8 of the London Plan (2008) as well as the objectives of PPS1 and PPS3.

2. The proposal would increase the range and quantity of the Borough's housing stock having regard to Policy (II) H6 of the Unitary Development Plan, Policies 3A.1, 3A.2, 3A.3, 3A.5 of the London Plan (2008), as well as the objectives of PPS1 and PPS3.

3. The proposal would provide a satisfactory level of amenity space provision for the new dwelling having regard to Policy (II) H9 of the Unitary Development Plan.

4. The proposal would provide a satisfactory level of parking provision and would not give rise to conditions prejudicial to the free flow and safety of traffic on the adjoining highways having regard to Policy (II)GD6, London Plan Policy 3C.23 and PPG13.



SITE PLAN
1:100 @ A3

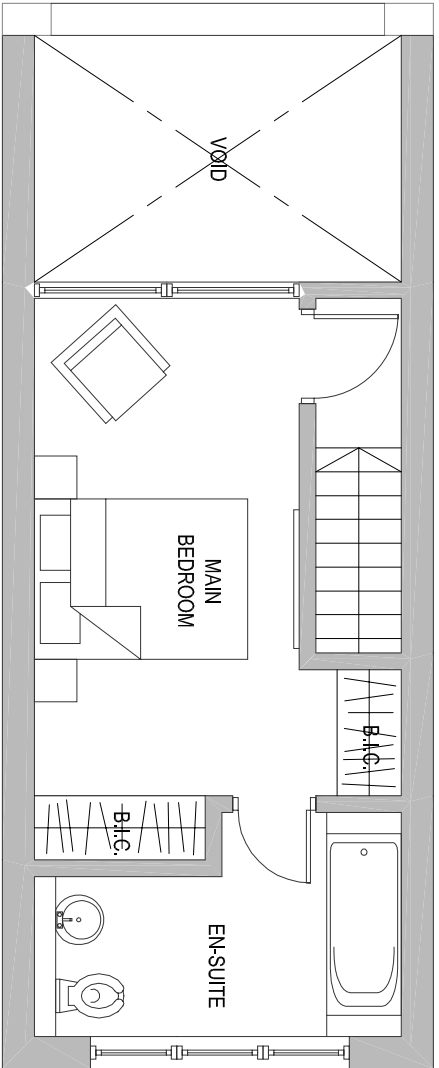


LOCATION PLAN
1:1250 @ A3

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3. Do not scale.

BAUFRITZ
 SEIT 1896

MRS & MRS STOREY
 HOUSE STOREY
 87A LISWATER ROAD
 SITE LOCATION PLAN
 112
 13 F RD 08
 BAUFRITZ (UK) Ltd
 The Woodlands, Cambridge CB3 9JH
 Telephone: 01223 235 632
 Fax: 01223 237 925
 WWW.BAUFRITZ.CO.UK



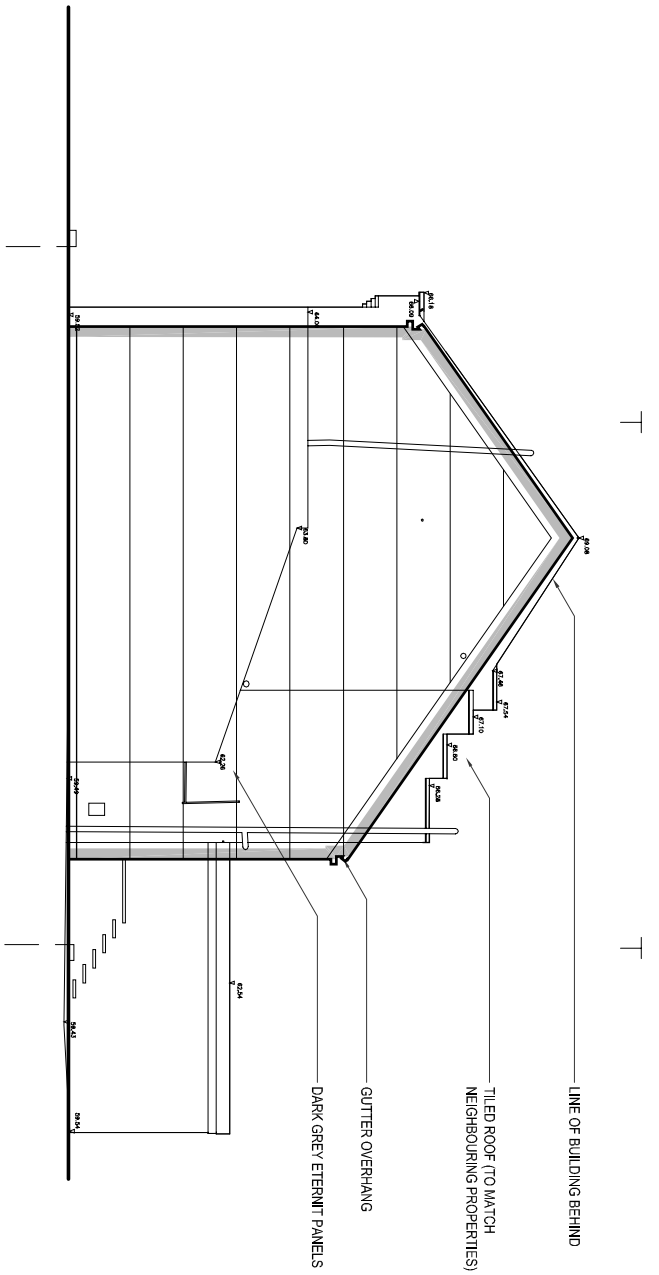
FIRST FLOOR PLAN

Notes:
 1. This schedule is typical.
 2. All dimensions are in millimetres unless otherwise stated.
 3. Any dimensions in red to be verified by the Architect immediately.
 4. See not table.

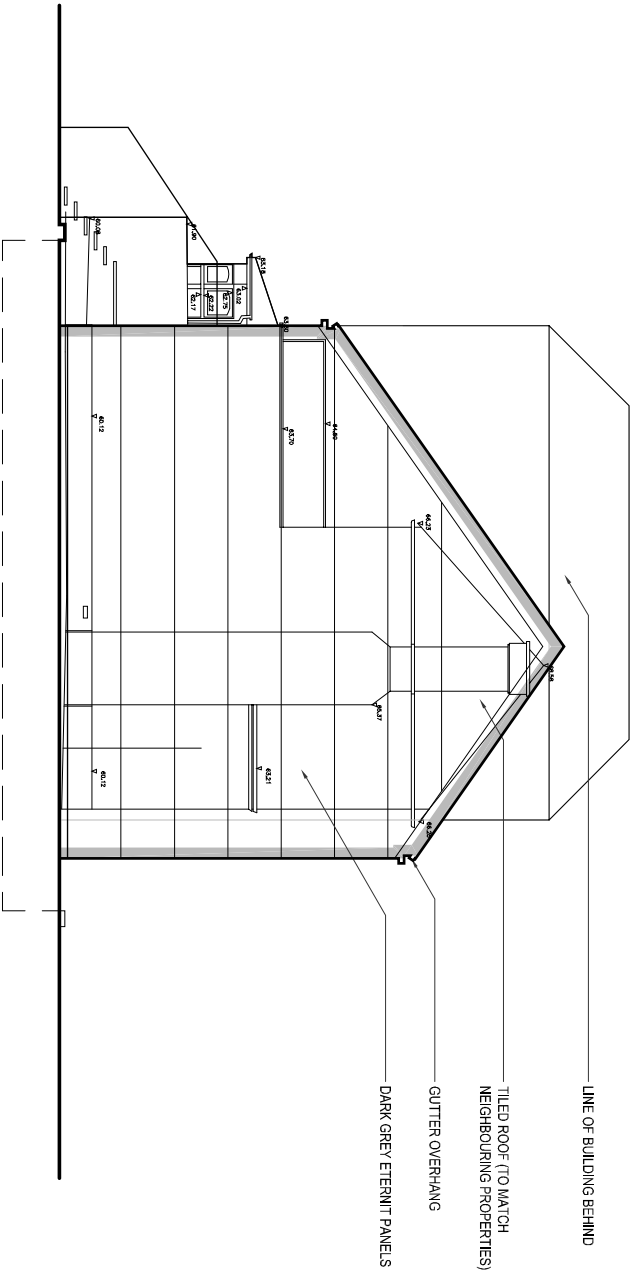
C. BAUNING SUBSISTENZ GMBH 04118 BRANCO
 A. FRIEDRICH SUBSISTENZ GMBH 44387 BRANCO
 K. KUNZE GMBH 44387 BRANCO
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BAUFRITZ
 SEIT 1896

MRS & MRS STOREY	
House	HOUSE STOREY
72A LILLESWATER ROAD	
WIMBORNE	
FIRST FLOOR PLAN	
Drawn	003
Scale	1:50
Date	4 Nov 08
BAUFRITZ (UK) Ltd	
The Warehouse, Cambridge CB3 9JN	
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NORTH EAST ELEVATION



SOUTH WEST ELEVATION

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A PLANNING SUBMISSION NO: 28 041193AC
 Estate: Chalk Drive
BAUFRITZ
 SEIT 1895

Project Name	MARK & MARYS STOREY
Address	HOUSE STOREY 87/88 LILLESWATER ROAD
Client	MARK & MARYS STOREY
Contract No.	112
Contract Date	11/12
Contract Value	4 Nov 08
Contract Status	Approved
Contractor	BAUFRITZ (UK) Ltd
Contractor Address	The Warehouse, Cambridge Telephone: 01223 335 632 Fax: 01223 337 926 www.baufritz.co.uk

TP/08/2199



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Scale 1/2500 Date 14/1/2009

Centre = 534601 E 192532 N

Application Number: TP/08/2199 **Ward:** Edmonton Green
Date of Registration: 10th December 2008

Contact: Rob Singleton 3837

Location: CRAIG PARK, CRAIG PARK ROAD, LONDON, N18 2HG

Proposal: Installation of climbing frame to existing park playground.

Applicant Name & Address:

Mr David Breckenridge, London Borough of Enfield
Po Box 52
Silver Street
Civic Centre
London
EN1 3XA

Agent Name & Address:

Recommendation: That planning permission be **GRANTED** subject to the following conditions:

1. C07 Details of Materials
2. C09 Details of Hard Surfacing
3. C10 Details of Levels
4. C17 Details of Landscaping
5. For the duration of the construction period all trees and shrubs shown on the approved plans and application as being retained shall be protected by fencing a minimum height of 1.2 metres at a minimum distance of 1.8 metres from the existing planting. No building activity shall take place within the protected area. Any tree or shrub which dies or is damaged during the construction period shall be replaced.

Reason: To protect existing planting during construction.

6. C51A Time Limited Permission

Site and Surroundings

Craig Park occupies an area of 3.77 hectares. The site is surrounded by residential development on all sides with Lawrence Road to the north, Craig Park Road to the east, Aberdeen Road to the south and Kings Road/Argyle Road to the west. The site is accessible from all of the surrounding roads.

The site falls within flood zone 2.

Proposal

Permission is sought for the construction of a new climbing frame to an existing playground area to the north east of the site. The climbing apparatus proposed would reach a maximum height of 6.5m and have a maximum site coverage including surrounding impact zone, of 170m².

Relevant Planning History

None

Consultations

Public: None

External:

Any response from the Environment Agency will be reported at the meeting.

Internal

Traffic and Transportation raises no objection.

Relevant Policy

London Plan

- 3A.17 Addressing the needs of London's diverse population
- 3D.8 Realising the value of open space and green infrastructure
- 3D.13 Children and young people's play and informal recreation strategies
- 3D.14 Biodiversity and nature conservation
- 4B.5 Creating an inclusive environment
- 4B.8 Respect local context and communities

Unitary Development Plan

- (I)GD1 Regard to surroundings
- (I)GD2 Development to improve the environment
- (II)GD3 Aesthetic and functional design
- (II)GD6 Traffic generation
- (I)O4 Safeguard and enhance public open spaces
- (II)O11 Resist loss of public open space
- (II)O13 Improvements to existing open spaces
- (I)AR1 Provision of recreational facilities
- (II)AR3 Mixed use recreational facilities
- (II)CS1 To facilitate through the planning process the work of various community services
- (II)CS2 To ensure development for community services complies with the Council's environmental policies

Local Development Framework - Core Strategy Preferred Options

The Planning and Compulsory purchase Act 2004 requires the Council to replace the UDP with a Local Development Framework (LDF). The LDF core strategy will set out the spatial vision and strategic objectives for the Borough. The core strategy is at an early stage in its adoption process.

As this continues the weight given to it will grow and the relevant objectives are reported to demonstrate the degree to which the proposals are consistent with the emerging policy direction.

- SO3 Protect enhance Enfield's Environmental quality
- SO7 Distinctive, balanced and healthier communities
- SO10 Address social deprivation, child poverty and inequalities in health and educational attainment
- SO11 Safer and stronger communities

- SO16 Preserve local distinctiveness
- SO 17 Safeguard established communities

The site has also been designated as a 'Small Local Park / Open Space' in the recent Enfield Open Space and Sports Assessment Study (2006). This document forms part of the evidence base for the emerging Local Development Framework.

Other Material Considerations

- PPS1 Delivering Sustainable Development

Analysis

Impact on Character and Amenities of Surrounding Area.

The proposed climbing apparatus would be compatible with the general function and recreational use of Craig Park. Thus, the appearance of the equipment would not appear incongruous or detract from the character and appearance of the locality.

In addition, the apparatus would be sited some 30 metres from the flank wall of the nearest residential property on Lawrence Road. Due to this separation, it is considered that the apparatus would have no impact upon the residential amenities of these properties.

Parking and Access

The subject proposal does not involve any alterations to public highways or public rights of way and it is not anticipated that the provision of the climbing frame to an existing park playground would represent a significant intensification of use likely to result in additional vehicle traffic generation.

Conclusion

The proposal would represent an enhancement of an existing site for recreational purposes and in addition, the scheme would contribute to the provision of viable and accessible recreation, open space and leisure facilities for the wider community. Thus, it is compatible with the overarching objectives of planning policy including the emerging objectives of the Core Strategy of the Local Development Framework; in terms of children and young people. Consequently, in light of the above, it is recommended that planning permission be granted for the following reasons:

- 1 The proposed installation of climbing apparatus to the Craig Park open space for recreational purposes actively contributes to the provision of viable and accessible recreation, open space and leisure facilities for the wider community and thus is compatible of Policies (I)O4, (II)O12, (II)O13, (I)AR1, (II)CS1 and (II)CS2 of the Unitary Development Plan; Core Policy 20 of

the emerging Core Strategy of the Local Development Framework; 3A.14, 3D.8 and 3D.13 of the London Plan; and, PPG17: Planning for Open Space, Sports and Recreation.

2 The proposed installation of climbing apparatus would not detract from the character and appearance of the surrounding area having regard to Policies (I)GD1, (I)GD2 and (II) GD3 of the Unitary Development Plan.

3 The proposed installation of climbing apparatus to the site for enhanced recreational uses would be appropriately located and not give rise to conditions prejudicial to the amenities enjoyed by neighbouring residential properties in terms of noise and disturbance having regard to Policies (I)GD1, (I)GD2 and (II)GD1 of the Unitary Development Plan.

TP/08/1209



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Scale 1/1250 Date 20/1/2009

Centre = 531481 E 194426 N

Application Number: TP/08/1209 **Ward:** Winchmore Hill
Date of Registration: 16th June 2008

Contact: Andy Higham 020 8379 3848

Location: KING EASTON GARDEN CENTRE, 69, STATION ROAD, LONDON, N21 3NB

Proposal: Erection of three buildings to provide 8 residential units and a retail unit for A1 use comprising one 2-storey detached 3-bed dwelling involving rooms in roof with front and side dormer windows, one 2-storey block of 5 terraced houses (comprising 4 x 2-bed and 1 x 3-bed), one part 3-storey block (comprising retail unit on ground floor, a 2-bed flat on first floor and a 1-bed flat on second floor) involving accommodation in the roof with front dormer window and balconies to first floor at front and rear, together with access from Compton Road and provision of 9 car parking spaces.

Applicant Name & Address:

Croft Homes
c/o Agent

Agent Name & Address:

Ms Gaby Higgs, GML Architects
40, Featherstone Street
London
EC1Y 8RE

RECOMMENDATION: Granted Subject to Conditions

1. C07 Details of Materials
2. C09 Details of Hard Surfacing
3. C10 Details of Levels
4. C11 Details of Enclosure
5. C12 Details of Parking/Turning Facilities
6. C14 Details of Access and Junction
7. C17 Details of Landscaping
8. C18 Details of Tree Protection (INSERT REQUIRED)
9. C22 Details of Const. Vehicle Wheel Cleaning
10. C25 No additional Fenestration
11. The development hereby approved shall not commence until details of the 10% of onsite renewable energy through solar thermal hot water systems for each of the dwellings and a further 3.3KW photovoltaic array stated within the submitted Renewable Energy Strategy have been submitted to and approved in writing by the Local Planning Authority. These works shall then be implemented prior to the occupation of any residential unit hereby approved and

shall thereafter be retained.

Reason: In the interests of promoting renewable energy and mitigating climate change.

12. The development hereby approved shall not commence until details of a scheme to secure the retention and maintenance of the hedge and trees marked on submitted plan 2940-06/D received by the Local Planning Authority on 19th January 2009. The scheme shall include details of the heights of the hedge and trees and a detailed ongoing maintenance plan including future management arrangements to secure the long-term future of the hedge and trees. The scheme shall be implemented prior to the occupation of any residential unit hereby approved and shall be retained thereafter.

Reason: To protect the amenities of the adjoining residents and in the interests of the Winchmore Hill Green Conservation Area.

13. The development shall not be occupied until the measures to protect the buildings from external noise have been completed in accordance with the conclusions of the submitted noise assessment. The measures shall thereafter be retained.

Reason: To ensure the external noise does not prejudice the amenities of occupiers of the premises

14. The development hereby approved shall not commence until a scheme for waiting restrictions along Compton Road and Station Road, that includes road markings and road signage for no-loading restrictions at anytime and peak time respectively, is submitted and approved in writing by the Local Planning Authority. These works shall then be implemented prior to the commencement of use or otherwise agreed to in writing by the Local Planning Authority.

Reason: In the interests of highway safety and free flow traffic.

15. The development hereby approved shall not commence until a scheme to prevent vehicles parking on the shop frontage or gaining access via Station Road has been submitted to and approved in writing by the Local Planning Authority. These works shall then be implemented prior to the commencement of use and thereafter maintained.

Reason: In the interests of highway safety and free flow traffic.

16. The nine parking spaces shown on approved plan 2940-04-D received by the Local Planning Authority on 19th January 2009 shall be marked out and numbered prior to the occupation of any residential unit hereby approved. The spaces so provided shall be retained thereafter solely for the parking of private motor vehicles and shall not be used for any other purpose.

Reason: To ensure that the development provides adequate off street parking and to prevent the introduction of activity which would be detrimental to amenity.

17. The development shall not commence until details of the design and siting of 8 secure/covered cycle parking spaces have been submitted to and approved in writing by the Local Planning Authority. The approved details shall thereafter be installed prior to first use of the residential units hereby approved and permanently retained for cycle parking.

Reason: To ensure the provision of cycle parking spaces in line with the Council's adopted standards.

18. The development shall not commence until details of the siting and design of refuse storage areas for each of the proposed residential and retail units have been submitted to and

approved in writing by the Local Planning Authority. The facilities shall be provided in accordance with the approved details before the development is occupied and shall be retained thereafter.

Reason: In the interests of amenity and the recycling of waste materials in support of the Borough's waste reduction targets

19. The redundant footway crossing to Station Road must be broken out and returned to footway, to the satisfaction of the Local Planning Authority.

Reason: In the interests of highway and pedestrian safety and amenity.

20. No development shall take place until an assessment has been carried out into the potential for disposing of surface water by means of a sustainable drainage (SuDS) scheme, in accordance with the principles of sustainable drainage systems set out in national planning policy guidance and statements, and the results of that assessment have been provided to the local planning authority. The assessment shall take into account the design storm period and intensity; methods to delay and control the surface water discharged from the site; and measures to prevent pollution of the receiving groundwater and/or surface waters.

Reason: To ensure that the proposal would not result in an unacceptable risk of flooding from surface water run-off or create an unacceptable risk of flooding elsewhere.

21. Surface water drainage works shall be carried out in accordance with details that have been submitted to, and approved in writing by, the local planning authority before the development commences. Those details shall include a programme for implementing the works. Where, in the light of the assessment required by the above condition, the local planning authority conclude that a SuDS scheme should be implemented, details of the works shall specify:

- i) a management and maintenance plan, for the lifetime of the development, which shall include the arrangements for adoption by any public authority or statutory undertaker or any other arrangements to secure the operation of the scheme throughout its lifetime; and
- ii) the responsibilities of each party for implementation of the SuDS scheme, together with a timetable for that implementation.

Reason: To ensure implementation and adequate maintenance to ensure that the proposal would not result in an unacceptable risk of flooding from surface water run-off or create an unacceptable risk of flooding elsewhere.

22. The development hereby approved shall not commence until details of a Construction Management Plan have been submitted to and approved in writing by the Local Planning Authority. The plan shall be implemented in accordance with the approved details before any works are carried out on site and shall remain in place until the development is completed.

Reason: To protect the amenities of neighbouring residents and in the interest of highway safety.

23. The retail use hereby approved shall not commence until the shop front of the premises is provided with a window display which shall be maintained.

Reason: To safeguard the appearance of the street scene.

24. Deliveries and collections to and from the retail unit fronting Station Road shall only take place between the hours of:

Monday to Saturday
09:30 and 15:30
18:30 to 20:00
Sunday and Bank Holidays
08:00 and 20:00
and at no other times.

Reason: To safeguard the amenities of the occupiers of nearby residential properties and in the interests of highway safety.

25. The retail unit fronting Station Road shall only be open for business and working between the hours of 07:00 and 23:00 Monday to Saturday and 08:00 and 20:00 on Sundays and Bank Holidays.

Reason: To safeguard the amenities of the occupiers of nearby residential properties.

26. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995, or any amending Order, the retail unit fronting Station Road shall only be used for purposes within Use Class A1 Retail as defined by the Town and Country Planning (Use Classes) Order 1987.

Reason: To protect the vitality and viability of Winchmore Hill Green.

27. Before first use of the first floor flat unit A, the rear balcony shall be provided with a 1.8 metre high obscured screen between points A and B marked on plan 2940-06/D received by the Local Planning Authority on 10th December 2008. The screen shall thereafter be retained. The remaining area cross hatched on plan 2940-06/D shall not be used for any recreational purpose, storage or other purposes and access shall only be for the purposes of the maintenance of the property or means of emergency escape.

Reason: To protect the amenities of the adjoining residents.

28. The glazing to be installed in the first floor western elevation to unit D serving B1 indicated on drawing No 2940-10/D received by the Local Planning Authority on 10th December 2008 shall be fixed and in obscured glass. The glazing shall not be altered without the approval in writing of the Local Planning Authority.

Reason: To safeguard the privacy of the occupiers of adjoining properties.

29. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995, or any amending Order, save for those specifically detailed within the approved application, no balustrades or other means of enclosure shall be erected on any roof. No roof shall be used for any recreational purpose and access shall only be for the purposes of the maintenance of the property or means of emergency escape.

Reason: To safeguard the privacy of the occupiers of adjoining properties.

30. T001 British Standard 3998

31. C51A Time Limited Permission

Recommendation: That planning permission be GRANTED subject to the following conditions:

Site and Surroundings

The site comprises a former garden centre occupying a linear stretch of land between the railway embankment and the properties fronting Compton Terrace and the Roseville flats. The site has a large greenhouse located to the centre of the site along with a number of other smaller greenhouses and single storey storage building across the site, with the remainder being open land. The site lies within the Winchmore Hill Green Conservation Area, where the Character Appraisal recognises the neutral contribution of the existing buildings. The site currently has accesses at either end of the site, from both Station Road and Compton Road.

The surrounding area is predominantly residential with shops and commercial uses within The Green and fronting Station Road. To the east of the site lies the railway embankment with residential development fronting Rose Neath Avenue beyond. To the west lies a row of traditional pre-1900 terraced properties, along with Roseville the more recent two storey pitched roof block of flats with associated garage court. To the north and south lie Holly Lodge and Manor Park House, respectively, which comprise three storey flat roofs post war blocks of flats.

Proposal

The proposal is for 8 residential and one A1 retail unit arranged as three blocks. The first block fronting Station Road will be two stories with accommodation in the roof. It will comprise a 105 square metre shop to the ground floor, a two bedroom flat with rear balcony to the first floor and a two bedroom flat to the second floor. The central block will comprise a mews of 5 two bedroom terraced dwellings. The unit nearest to the adjacent Roseville flats will be single storey with dormers to the east elevation (facing the railway) providing for accommodation in the roof. The remaining dwellings in the mews will be two storey, with a mixture of pitched and flats roofs. There would also be a two storey three bedroom detached dwelling with accommodation in the roof is proposed fronting Compton Road, adjacent to Compton Terrace.

The site will be accessed from an improved existing access off Compton Road, with pedestrian access from Station Road. The scheme includes nine car parking spaces, located towards the Compton Road end of the site and cycle parking towards the centre of the site. An access road for servicing of the shop runs along the eastern site boundary, at the top of the railway embankment. A mixture of private and shared amenity space is provided across the site in the form of enclosed gardens, balconies and communal space along with small landscaped areas.

Relevant Planning Decisions

- PRE/08/0020 Redevelopment of site for proposed retail (140m²) and residential development (8 units).
- TP/06/1768 Erection of three buildings to provide 8 flats and commercial unit for A1/A2 use (comprising one 2 storey building of 2 x 2 bed flats with Juliet Balcony to north elevation; one 2 storey building of 4 x 2 beds with balconies to east elevation; and one 2 storey building with accommodation in the roof and commercial use on ground floor and ancillary basement and 1 x 2 bed and 1 x studio flat above), together with access from Compton Road, provision of 8 car parking spaces and

erection of a 1.8m high wall and gates to Compton Road, withdrawn November 2006.

CAC/06/0013 Demolition of existing dwellings in association with TP/06/1768, withdrawn November 2006.

PRE/07/0037 Redevelopment of site for proposed retail (170m²) and residential development (12 units)

TP/92/1065 Retention of greenhouse and single storey storage building within existing garden centre originally approved under reference TP82/0753, granted December 1992.

TP/87/1774 Retention of greenhouse and single storey storage building within existing garden centre originally approved under ref. TP 82/753, granted January 1988.

Public

Consultation letters have been issued to 131 neighbouring properties. The re-consultation period expired on 14th January 2008 and at the time of writing 41 objections have been received stating the following concerns:

Character and Appearance

- Narrow site
- Building too close to 6 Compton Terrace
- Setting back the shop seems 'odd'
- Loss of hedge adjacent to Roseville, previously required to be retained by a condition
- An extensions to the Green in front of the shop should be requires, as was the case with Roseville
- Only small units proposed, not family dwellings
- Poor quality design and materials
- Flat roofs negatively affect the Conservation Area
- Over-development
- Poor configuration
- Lack of amenity space
- Out of scale with surroundings
- Lack of boundary separation
- Unsympathetic to the Conservation Area
- Loss of railway embankment trees expose the site to the streetscene
- Detached unit will have a far more attractive and open setting
- Existing retail premises vacant, another is not needed
- Would not preserve or enhance the character of the Conservation Area
- Low cost housing detracts from the character of the Conservation Area
- Accommodation in the roof is not conducive with the area
- Loss of the 'village feel' to the area
- Previous use was low intensity
- Contrary to Conservation Area Character Appraisal
- Controls are sought for the 'type' of shop
- Lack of landscaping

Impact on Neighbours

- Loss of privacy, including a window in the flank elevation and a rear balcony to the shop/flat unit
- Overshadowing and loss of light, particularly flats 5-10 Roseville

- Overbearing impact
- Pitched roofs increase impact
- Single storey buildings would be more acceptable
- Loss of trees and hedge to the rear of no.'s 7-12 Compton Terrace
- Disturbance from lights
- Noise and disturbance, including from the security gates
- Loss of views
- Insufficient separation distances
- Inadequate height of boundary fences

Highways

- Distance of parking spaces from units
- Rear servicing required for shop
- No staff parking for shop
- Lack of visitors parking
- Dangerous road with a lack of parking
- Opposite the station
- Emergency services access
- Lack of turning space
- Shop in this location is a safety hazard
- Site should be used as a car park
- Lack of pedestrian visibility splays
- Loss of forward visibility along Compton Road
- Car parking is provided on land outside of the control of the applicant

Other matters

- Impact on local infrastructure
- Incorrect description, not 8 flats
- Site boundary includes part of no. 6 Compton Terrace over which a possessory title must exist and part of the garden of no. 12 Compton Terrace
- Development would prevent access to the garage for no. 6 Compton Terrace
- Impact on the right of way to the rear of Compton Terrace, which is incorrectly shown as part of the site
- Invalid ownership certificate
- Impact on wildlife on railway embankment
- Lack of clarity in the drawings
- Not all properties received consultation letters
- Maintenance problems as buildings abut the boundary
- Subsidence and drainage concerns due to proximity of new buildings
- Disruption during construction
- Trees not shown on the plans
- Inaccurate elevation of 212 Hoppers Road

External

Winchmore Hill Residents' Association find the 5 mews houses generally acceptable although minimal private space is provided and the use of timber cladding is questionable. Concerns were stated regarding the proximity of the retail unit to the pavement edge. The improvements by increasing this separation are noted, but the association suggests the scheme would benefit from a further set back to 8 metres from the pavement edge to match that of Roseville and provide a continuous green area. Finally, concerns are stated regarding the felling of two trees within the application site, not on the railway embankment without approval.

Southgate District Civic Trust notes that the revisions cover most of their concerns , but the fenestration and balustrade to the front of the proposed shop are not in keeping with the Green or the wider Conservation Area.

Thames Water does not object to the application, subject to an informative relating ground water, combined sewers and storm water attenuation.

Any other responses will be reported at the meeting.

Internal

The Conservation Advisory Group does not object to the application commenting that the proposed contemporary blocks, with pitched roofs to the mews, are in keeping with the Conservation Area and the Station Road shop/flat block is supported. The group commented that the main effect on the Conservation Area would come from the 'two ends', with some concerns expressed regarding the dominance of the retail/flat block fronting Station Road.

The Head of Environmental Health does not object to the application subject to a condition relating to a Construction Management Plan.

Director of Education, Child Services and Leisure has no objection to the application.

Any response from the Head of Cleansing will be reported at the meeting.

Relevant Policies

London Plan (2008)

3A.1	Increasing Supply of Housing
3A.2	Borough Housing Targets
3A.3	Maximising the potential of sites
3A.5	Housing choice
3A.6	Quality of new housing provision
3C.21	Improving Conditions for Cycling
3C.23	Parking Strategy
3D.3	Maintaining and improving retail facilities
4A.3	Sustainable Design and Construction
4A.20	Reducing noise and enhancing soundscapes
4B.12	Heritage conservation
4B.13	Historic conservation-led regeneration
Annex 4	Parking standards

Unitary Development Plan

(I)GD1	Regard to Surroundings / Integrated into Local Community
(I)GD2	Quality of Life and Visual Amenity
(II)GD3	Character / Design
(II)GD6	Traffic Generation
(II)GD8	Site Access and Servicing
(II)H6	Range of size and Tenure
(II)H8	Privacy and Overlooking
(II)H9	Amenity Space
(II)T13	Creation or improvement of accesses

- (II)T16 Adequate access for pedestrians and disabled persons
- (I)C1 Preserve and Enhance matters of Archaeological, Architectural or Historic Interest
- (II)C30 Development in a Conservation Area
- (II)C38 Resist the Loss of Trees of acknowledged public amenity value
- (I)S1 Shopping Centres
- (I)S3 Local Shopping Centres

Local Development Framework - Core Strategy Preferred Options

The Planning and Compulsory Purchase Act 2004 requires the Council to replace the Unitary Development Plan with a Local Development Framework. At the heart of this portfolio of related documents will be the Core Strategy which will set out the long-term spatial vision and strategic objectives for the Borough.

The Council is now considering the responses received in connection with the consultation on the Preferred Options for the Core Strategy. As a policy document, the Core Strategy is at an early stage in its process to adoption and thus, presently, can only be afforded limited weight as a material consideration. As the process continues the weight to be attributed to the Core Strategy will grow and the relevant policies are reported to demonstrate the degree to which development proposals are consistent with the emerging policy direction for the Borough.

- SO1 Sustainability and Climate Change
- SO3 Protect and enhance Enfield's environmental quality;
- SO6 High quality, sustainably constructed, new homes to meet the aspirations of local people
- SO8 Affordable Housing, Family Homes and Social Mix
- SO11 Safer and stronger communities
- SO16 Preserve the local distinctiveness
- SO17 Safeguard established communities and the quality of the local environment
- SO18 Conservation, Listed Buildings and Heritage
- SO21 Sustainable Transport
- CP1 Sustainable and Efficient Land Use
- CP2 Sustainable Design and Construction
- CP5 Air, Water, Noise and Light Pollution and Contaminated Land
- CP10 Managing the Supply and Location of New Housing
- CP12 Housing Mix
- CP14 Safer and Stronger communities
- CP23 Built Heritage
- CP29 Promoting sustainable transport and improving access for people with restricted mobility
- CP31 Walking and Cycling

Other Material Considerations

- PPS1 Delivering Sustainable Communities
- PPS3 Housing
- PPS6 Town Centres
- PPG13 Transport
- PPG15 Historic Environment

Winchmore Hill Green and Vicars Moor Lane Conservations Area Character Appraisal, April 2006
Conservation Area Management Proposals, January 2007

Analysis

Principle

The redevelopment of the site for a mixed retail and residential use would be consistent with the surrounding character of the area. It would increase the supply of housing within the Borough assisting in the attainment of the Boroughs housing targets whilst seeking to add to the vitality and viability of The Green as a Local Shopping Centre. The principle of the proposed development therefore, subject to the detailed considerations below, is considered acceptable.

Character and Appearance of the area

Density

The site is within adjacent to Winchmore Hill Green within an area characterised by mixed-use development including terraced houses and flats. The site lies in PTAL 2 and for the purposes of the London Plan 2008 density matrix it is considered the site lies within an urban area. The matrix suggests a density of 200 to 450 habitable rooms per hectare or a unit range of 45 to 120 units per hectare.

The application proposes 8 residential units (1 x 1-bed, 6 x 2-bed and 1x 3-bed) resulting in 24 habitable rooms giving a residential density of 140 hrph (24/1720x10,000) or 46 u/h, which lie well within the range set out above. However, advice contained in PPS1 and PPS3, states that a numerical assessment of density must not be the sole test of acceptability and must also depend on the attainment of appropriate scale and design relative to character and appearance of the surrounding area. In this instance, the need for any development to preserve and enhance the special character and appearance of the Conservation Area is a material factor that will limit the scale of any proposal.

The site is located close to the core of the former village centre, where it would generally be expected to find tighter developments. Having regard to the surrounding patterns of development, the extent of site coverage and the numerical assessment details above, it is considered that the proposed density is acceptable and would not result in an overdevelopment of the site.

Amenity space provision

The proposed amenity space provision for the site is made up of private gardens to units B, D and E and private courtyards to units C1, C2 and C3 totalling 191 square metres, balconies to units C1, C2 and C3 and the first floor flat above the retail unit totalling 50 square metres and shared amenity space to the rear of the retail unit and to the south of unit D of 155 and 137 square metres respectively. This results in a total amenity space of 533 square metres. In addition, 73 square metres of landscaping and 283 square metres of shared landscaped hard surface is provided.

The UDP standard requires amenity space to be equal to at least 50% of the Gross Internal Area (GIA) of the proposed 1-bed flat and 75% of the GIA of all other flats and 100% of new houses. Balconies may provide an alternative form of amenity space provided that they are not detrimental to the privacy of adjoining occupiers. The provision of amenity space in the form of balconies and roof terraces should not exceed 15% of the total amenity space provision.

The GIA of the 1-bed flats is approximately 48 square metres, the 2-bed flat is approximately 56 square metres and the houses total 513 square metres. This provides for amenity space requirements of 24, 42 and 513 square metres respectively. The total amenity space requirement is, therefore, 579 square metres. Whilst this falls 66 square metres below the adopted standard, the shared amenity space areas are bordered by both soft and hard landscaping followed by the railway embankment. As such, it is considered there will be a reasonable degree of openness to these areas that will ensure they provide high quality amenity space. Less than 10% of the

amenity space will be provided in the form of balconies. Overall, the proposed amenity space is considered acceptable.

Design and Impact on the Conservation Area and wider Street Scene

The scheme proposes three buildings, which each need to respond to their respective streetscene and the constraints of a narrow site. Taking each in turn, the proposed retail building with flats above has been amended to provide a balanced elevation to Station Road with an appropriate mix of traditional and contemporary features including zinc chequered dormer windows, vertically emphasised first floor windows and a timber framed shopfront. The shopfront itself provides a traditional form with limited space for advertising and features such as stall risers and smaller separate panes of glazing. The building will be set 5 metres back from the edge of the footway to allow for tree planting and landscaping serving to continue the landscaped corridor appreciating The Green. The rear of the building has a more contemporary design with an angled flat roofed timber clad projection. It is considered that the proposed building is appropriately sited and provides a good transition between the more traditional frontage and the contemporary design within the centre of the site.

The proposed central mews dwellings whilst predominantly with pitched roofs provide a contemporary design with light render at the ground floor and brickwork above. There are two storey projecting elements with flat roofs providing balconies to the east elevation facing the railway. Unit D will also have a flat roof to both its two storey and single storey elements. Overall, the design is considered to be of a high quality. It must also be noted that, notwithstanding the removal of the trees along the railway that previously screened the site, the central block is located in excess of 40 metres from any public viewpoint on either Station Road or Compton Road. As such, any views of the contemporary design would be relatively distant.

The building is sited abutting the western boundary of the site adjoining the Roseville's garage court. However, tightly located buildings are characteristic of the centre of such former village settings and, moreover, this relationship would not be visible from public points within the Conservation Area. The impact of this building on the adjacent properties is addressed later.

The mews building has been stepped to allow for the retention of the hedge along the boundary with Roseville. Whilst there would be some loss of the hedge to the northern part of the site, due to the siting of the proposed retail unit, it is not considered that this will have a significant impact on the character of the Conservation Area.

Finally, the proposed detached dwelling fronting Compton Road will be of brick construction with a slate roof and a front zinc chequered dormer window aligned with projecting square window features. The eaves and ridgeline will be similar to that of the existing dwelling to which it is most closely aligned. It is considered the design respects the existing terraced properties, whilst introducing some contemporary features. The building forms a triangle and is sited approximately 1 metre from the back of the footway. The siting reflects that of the adjoining terrace and is in keeping with the character of Compton Road. Whilst the shape of the building is unusual, it is considered that when viewed from the surrounding streets it will not appear out of character. Amended plans are awaited replacing the timber cladding to the front elevation with render to ensure an appropriate balance between traditional and contemporary design.

The remainder of the site will form a mixture of hard and soft landscaping provides access, amenity and parking areas. The proposed parking spaces to the southern end of the site will be visible from Compton Road. However, they will be separated and screened with landscaping such that they will not be overly dominant. There are gates proposed to the Compton Road entrance. However, these will be set back from the pavement edge and will be subject to a condition require detailed designs to be submitted.

The application was considered by the Conservation Advisory Group, who raised no objections to the proposal. Whilst some concerns were stated regarding the Station Road retail block, the plans have since been revised to increase to provide an setback to ensure the building is not overly dominant.

Overall, it is considered that the proposed design and siting of the buildings will effectively combine traditional and contemporary elements to make a positive contribution to the Conservation Area.

Impact on Neighbouring Properties

The proposed building fronting Station Road will result in development along the boundary with Roseville, which will require the removal of part of the existing hedge. However, the single storey element will be located over 8 metres from the nearest window with the two storey element at least 10 metres away. Both elements will be at an angle to Roseville and will 'splay' away from the building increasing the level of separation. It is not considered that this relationship will result in an overbearing impact on Roseville or its gardens, or an unacceptable loss of light. As such, it is considered acceptable. The windows to this block will face station road and the railway embankment. Whilst a single window is proposed to the western elevation this is located forward of existing trees and the angles involved mean that any overlooking of Roseville will be oblique or obscured. The rear elevation has an angled projection and a screen along the balcony to prevent overlooking, which is considered acceptable.

The proposed mews will result in single and two-storey development within approximately 4 and 10 metres of Roseville, respectively. However, again the alignment of these buildings means that the nearest points quickly splay away. In addition, in the case of the ground floor element this would be sited behind an existing high hedge that will be retained as part of the development. The two-storey element will wrap around Roseville's garage court. Whilst it will result in some enclosure of this space, the area itself provides a service and amenity function. Views of the block from Roseville will be largely across this existing garage court. As such, having regard to both the outlook from the windows and the garden area, it is not considered that there will be an unacceptable impact on the amenities of the occupiers of Roseville. There are no windows proposed that would face Roseville.

The single and two storey elements of unit D to the mews block will be located over at least 9 and 16 metres from the properties fronting Compton Terrace. It is not considered that this relationship would result in an unacceptable overbearing impact on these properties or their gardens. Ground and first windows are proposed to the west elevation facing towards Compton Terrace. However, the first floor window can be obscured and fixed. The ground floor window would predominantly look out over its own garden area. Whilst there would be some views of the rear of the properties fronting Compton Terrace, it is not considered these would be to a level that would result in an unacceptable level of overlooking. The south facing windows to unit D would allow for some views of the rear gardens of the properties fronting Compton Terrace. However, these would generally be oblique and at sufficient distance to ensure there is not an unacceptable loss of privacy.

Concerns have been raised regarding the inclusion of the alleyway to the rear of no.'s 6-12 Compton Terrace within the application site and the loss of the trees located within the site in this location. The applicant has provided a copy of the Land Registry Title that shows this area falls within the their ownership but appears to be subject to a Right of Way to the adjoining dwellings. The application previously showed the loss of the entire tree scheme. However, the application has been amended to include the retention of 3 trees within the application site to the rear of no.'s 7 and 8 Compton Terrace. After detailed investigation, Officers accept that it is not possible to

retain the remaining hedge to the rear of 9-12 Compton Terrace without compromising the requisite turning circle for refuse and emergency service vehicles. The partial removal of this hedge will increase the views into the site from the properties fronting Compton Terrace and the potential for views of the rear of these properties from the application site. However, the view from Compton Terrace will be of a landscaped area included new tree planting. Views to the rear of the properties fronting Compton Terrace would be at a distance of over 13 metres and would be from ground level only. In addition, a condition requiring details of means of enclosure is proposed, which will require a 2-metre high fence in this location. As such, it is not considered that the partial removal of this hedge will result in an unacceptable loss of outlook or privacy. Concerns have also been raised regarding security, as access to the rear of the properties fronting Compton Terrace will now be possible from the application site. However, this is offset by the increased natural surveillance provided by these properties and is, therefore, considered acceptable.

The proposed detached dwelling is aligned with the side of no. 13 Compton Terrace, which contains side windows facing the application site. However, the proposed dwelling would be sited approximately 4 metres from these windows. It is considered that given the windows are located to the side of the property, where it is common to find other development in close proximity, there will not be an overbearing impact on this property. The windows serving this dwelling face towards Compton Road and the railway embankment, with the rear windows angled away from no. 13. It is considered that any overlooking would be sufficiently oblique as not to result in an unacceptable impact on privacy.

Overall, it is considered that sufficient separation distances have been provided and the design and layout of the scheme refined to ensure that it will not have an unacceptable impact on the amenities of the adjoining properties.

Parking and Access

The site is located in a relatively low PTAL 2 area but is adjacent to Winchmore Hill Station, which provides good rail links. The application proposes car parking at a ratio of 1 space per unit, with a further staff parking space for the proposed shop. Whilst concerns regarding on street parking problems within the surrounding streets are noted, it is considered that the proposed level of parking is adequate. The plans show adequate vehicular and pedestrian visibility splays at the proposed access and that refuse and emergency service vehicles can enter and adequately turn within the site. However, to ensure that adequate visibility is retained it will be necessary to implement no waiting restrictions at the point of access.

The application shows that the proposed retail unit will be serviced from the rear. However, due to the limited access width and long reversing distance it is considered likely that, in practice, servicing will take place from Station Road. As such, a condition is proposed requiring a scheme for no loading restrictions to prevent loading during peak hours. Whilst concerns have been raised regarding servicing at anytime, it is considered that providing 'off-peak' only servicing to Station Road is acceptable and Traffic and Transportation do not object to the proposal.

The plans show an appropriate location for cycle parking but do not include details of refuse storage. However, conditions are proposed requiring details of the design of the cycle parking and details of refuse storage to be submitted and approved.

Other Matters

The site is located at the top of the railway embankment and the proposed units are likely to be affected by noise from the railway. The applicant has provided a PPG24 Noise Assessment, which concludes that acceptable internal noise levels can be achieved through the use of thermal

double-glazed units and normal trickle ventilation. The amenity areas are stated to fall within the principles of the World Health Organisations Guidelines on Community Noise. As such, it is considered, subject to a suitably worded condition, the impact on the site by railway noise is acceptable.

The site provides a mixture of dwelling sizes, whilst it is heavily weighted to two bedroom units, due to the constraints of the site, it is considered that it would not be appropriate to insist upon a greater number of family sized units.

Concerns have been raised regarding the ownership of a piece of land to the east of no. 6 Compton Terrace. It has been suggested that this, in fact, forms part of the garden to no. 6 Compton Terrace. The applicant has provided a Land Registry Title including a map that clearly shows this area of the site falls within their ownership. As such, it is considered that there was not a need to serve notice on no. 6 Compton Terrace. However, should it later come to light that, through adverse possession or any other means, this area falls outside of the control of the applicant the garden area to unit D would be reduced. To consider the worst case scenario the application has been amended to reduce the size of unit D, by removing a single storey projecting element to ensure that if this area of land is 'lost' unit D would have sufficient amenity space.

Sustainable Design and Construction

The submitted Design and Access Statement confirms that the proposal will be constructed to Code Level 3 in the Code for Sustainable Homes. A Renewable Energy Statement is also provided confirming that 10% of onsite energy will be provided in the form of solar thermal hot water systems for each of the dwellings and a further 3.3KW photovoltaic array. A condition is also proposed requiring details of a Sustainable Drainage System to be submitted to and approved. Overall, it is considered that the proposal is in accordance with the objectives of policy 4A.3 'Sustainable Design and Construction' of the London Plan.

Conclusion

In the light of the above assessment, it is considered that the proposed be approved for the following reasons:

Reasons for granting planning permission

1. The proposed 8 residential and 1 retail unit would contribute to increasing the range and quantity of the Borough's housing stock, as well as providing additional retail facilities to Winchmore Hill Green having regard to policies (I)GD1, (I)GD2 and (II)H6 of the Unitary Development Plan, policies 3A.1, 3A.2, 3A.3 and 3A.6 of the London Plan (2008), as well as the objectives of PPS1 and PPS3
2. The proposed 8 residential and 1 retail unit would not detract from the character and appearance or the visual amenities of the surrounding area including the special character of the appearance of the Winchmore Hill Green Conservation Area, having regard to Policies (I)GD1, (I)GD2, (II)GD3, (I)C1, (II)C30, (II)C35 and (II)C38 of the Unitary Development Plan and Policies 4B.12 and 4B.13 of the London Plan (2008), as well as the objectives of PPS1, PPS3 and PPG15.

3. The proposed 8 residential and 1 retail unit would not unacceptably affect the amenities of adjoining or nearby residential properties having regard to Policies (I)GD1 and (I)GD2 of the Unitary Development Plan, as well as the objectives of PPS1 and PPS3.
4. The proposed 8 residential and 1 retail unit would not prejudice through overlooking or loss of privacy, the amenities enjoyed by neighbouring properties, having regard to Policy (II)H8 of the Unitary Development Plan, as well as the objectives of PPS1 and PPS3.
5. The proposed 8 residential and 1 retail unit including the provision of 9 parking spaces and 8 secure cycle spaces would not give rise to unacceptable on street parking, congestion or highway safety issues, having regard to Policies (II)GD6, (II)GD8 and (II)T13 as of the Unitary Development Plan, Policy 3C.23 of the London Plan (2008), as well as the objectives of PPG13.

UNIT	AREA	TYPE
RETAIL	105 sqm	RETAIL
A1	56 sqm	2 BED FLAT
A2	48 sqm	1 BED FLAT
B	77 sqm	3 BED HOUSE
C1	63 sqm	2 BED HOUSE
C2	81 sqm	2 BED HOUSE
C3	65.5 sqm	2 BED HOUSE
D	103 sqm	3 BED HOUSE

- Concrete block paving, Shared access
- Soft landscaping
- Private Patio
- Grasscrete Parking
- Hedge retained
- Low Level lighting bollards
- Security light on timer, angled downwards
- Right Of Way



REV	DATE	DESCRIPTION
A	AUG '08	Amendments to shop Amendments to C1,C2,C3 Amendments to D&E Right of way added
B	NOV '08	Amendments to unit B
C	DEC '08	TREES ADDED
D	JAN '09	UNIT D REDUCED
E		UNIT A SET BACK AT FRONT

GML Architects
 Tel 020 7490 4299
 Fax 020 7490 4084
 London EC1Y 8RE
 info@gmlarchitects.co.uk

GARDEN CENTRE AT STATION ROAD
 WINCHMORE HILL N21 3NB
 MAY 2008

1:200@A1 1:400@A3

SITE PLAN 2940 - 04 D

- C DEC '08 Unit A (shop) set back at front
Unit C1, C2 & C3 roof amended
- B NOV '08 Amendments to unit A
Amendments to unit B
- A AUG '08 Pitched roof added
Shop unit amended

REV DATE DESCRIPTION

GML Architects
 40 Featherstone Street
 London EC1Y 8RE
 Tel: 020 7460 4299
 Fax: 020 7460 4084
 info@gmlarchitects.co.uk

GARDEN CENTRE AT STATION ROAD
 WINCHMORE HILL, N21 3NB
 MAY 2008

NTS@A3

3D STUDY

2940 - 19

C



TOWN PLANNING APPEALS

Appeal Information for Period: 01/12/2008 to 09/01/2009

Section 1: New Town Planning Application Appeals

Section 2: Decisions on Town Planning Application Appeals

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SECTION 1
NEW TOWN PLANNING APPLICATION APPEALS

Application No.: AD/08/0086B Ward:Grange

Appeal Type: Written Evidence

Appeal Received date: 16-Dec-2008

Location: 23, THE GRANGEWAY, LONDON, N21 2HB

Proposal: Internally illuminated projecting sign.

Application No.: AD/08/0109 Ward:Upper Edmonton

Appeal Type: Hearing

Appeal Received date: 30-Dec-2008

Location: ORBITAL BUSINESS PARK, 5, ARGON ROAD, LONDON, N18 3BZ

Proposal: Installation of two internally illuminated advert hoardings.

Application No.: LDC/08/0303 Ward:Bowes

Appeal Type: Written Evidence

Appeal Received date: 09-Jan-2009

Location: 14, ELVENDON ROAD, LONDON, N13 4SJ

Proposal: Use of property as 2 x self contained flats.

Application No.: LDC/08/0410 Ward:Winchmore Hill

Appeal Type: Inquiry

Appeal Received date: 04-Dec-2008

Location: 49, BROAD WALK, LONDON, N21 3BL

Proposal: Use of single storey building at side as a 1 bed residential unit.

Application No.: LDC/08/0478

Ward: Bush Hill Park

Appeal Type: Written Evidence

Appeal Received date: 03-Dec-2008

Location: 56/58, Ridge Road, London, N21 3EA

Proposal: Erection of a detached building at rear involving lower ground floor area.

Application No.: TP/08/0264

Ward: Winchmore Hill

Appeal Type: Hearing

Appeal Received date: 03-Dec-2008

Location: 9, OAKLANDS, LONDON, N21 3DE

Proposal: Single storey rear extension and rear patio (RETROSPECTIVE)

Application No.: TP/08/0786

Ward: Palmers Green

Appeal Type: Written Evidence

Appeal Received date: 09-Dec-2008

Location: 17, BROOMFIELD AVENUE, LONDON, N13 4JJ

Proposal: Conversion of premises into 4 self-contained flats (comprising 1x3-bed and 3x1-bed) (PART RETROSPECTIVE).

Application No.: TP/08/0799

Ward: Palmers Green

Appeal Type: Written Evidence

Appeal Received date: 10-Dec-2008

Location: 9, BROOMFIELD AVENUE, LONDON, N13 4JJ

Proposal: Conversion of premises into 4 self-contained flats (comprising 1x 3-bed and 3 x 1-bed)(PART RETROSPECTIVE).

Application No.: TP/08/0878

Ward:Cockfosters

Appeal Type: Written Evidence

Appeal Received date: 22-Dec-2008

Location: 22, CHASE ROAD, LONDON, N14 4EU

Proposal: Alterations to existing vehicular access to chase side and construction of new vehicular access to Lakenheath.

Application No.: TP/08/0916

Ward:Enfield Lock

Appeal Type: Written Evidence

Appeal Received date: 17-Dec-2008

Location: 51, UCKFIELD ROAD, ENFIELD, EN3 6AS

Proposal: Detached storage container at front. (RETROSPECTIVE)

Application No.: TP/08/1090

Ward:Cockfosters

Appeal Type: Written Evidence

Appeal Received date: 12-Dec-2008

Location: 19, HEDDON COURT AVENUE, BARNET, EN4 9NE

Proposal: Erection of a 2-storey side, part single part 2- storey rear extension, rear dormer and front porch involving demolition of garage.

Application No.: TP/08/1136

Ward:Bowes

Appeal Type: Written Evidence

Appeal Received date: 18-Dec-2008

Location: 21, GREEN LANES, LONDON, N13 4TT

Proposal: Change of use of part ground floor and division of 1 unit into 2 to provide a restaurant to the front and retail unit to the rear involving alterations to the shop front at side and installation of an extractor flue at rear.

Application No.: TP/08/1552

Ward:Cockfosters

Appeal Type: Written Evidence

Appeal Received date: 08-Dec-2008

Location: 167, PRINCE GEORGE AVENUE, LONDON, N14 4TD

Proposal: Single storey rear extension.

Application No.: TP/08/1647

Ward:Bush Hill Park

Appeal Type: Written Evidence

Appeal Received date: 05-Dec-2008

Location: FLAT 1-12, WOODLEA LODGE, 72, WELLINGTON ROAD, ENFIELD, EN1 2NW

Proposal: Installation of replacement windows to all elevations.

Application No.: TP/08/1743

Ward:Highlands

Appeal Type: Written Evidence

Appeal Received date: 09-Jan-2009

Location: 31A, GLEBE AVENUE, ENFIELD, EN2 8NZ

Proposal: Redevelopment of site to provide 2 residential dwellings (OUTLINE - all matters reserved).

SECTION 2
DECISIONS ON TOWN PLANNING APPLICATION APPEALS

Application No.: LDC/07/0465

Ward:Ponders End

(Delegated - 12-May-2008 - REFUSED)

Appeal Type: Inquiry

Appeal Decision: Appeal withdrawn

Decision Date: 16-Dec-2008

Location: 6, CLARENCE ROAD, ENFIELD, EN3 4BW

Proposal: Single storey side and rear extension.

Application No.: LDC/08/0049

Ward:Cockfosters

(Delegated - 25-Mar-2008 - REFUSED)

Appeal Type: Written Evidence

Appeal Decision: Appeal Allowed

Decision Date: 15-Dec-2008

Location: Land Rear Of, 10 & 12, Beech Hill, Hadley Wood, EN4 0JP

Proposal: Erection of 1.8m high chain link fencing at rear.

Application No.: TP/06/2429/VAR1

Ward:Lower Edmonton

(Delegated - 01-Aug-2008 - REFUSED)

Appeal Type: Written Evidence

Appeal Decision: Appeal allowed subject to
condition(s)

Decision Date: 08-Jan-2009

Location: 111, HERTFORD ROAD, LONDON, N9 7EE

Proposal: Variation of condition 02 of approval granted under Ref:TP/06/2429 to allow extension of opening hours as follows: Monday - Thursday 11.00 to 01.00 hrs and Friday to Sunday (including Bank Holidays) 11.00 to 02.00 hrs.

Application No.: TP/07/1677

Ward:Southgate Green

(Delegated - 21-Nov-2007 - REFUSED)

Appeal Type: Written Evidence

Appeal Decision: Appeal allowed subject to condition(s)

Decision Date: 29-Dec-2008

Location: 15, LANGSIDE CRESCENT, LONDON, N14 7DS

Proposal: First floor side extension.

Application No.: TP/07/1937

Ward:Enfield Lock

(Delegated - 17-Jun-2008 - REFUSED)

Appeal Type: Written Evidence

Appeal Decision: Appeal allowed subject to condition(s)

Decision Date: 23-Dec-2008

Location: 28, BIDEFORD ROAD, ENFIELD, EN3 6EH

Proposal: Erection of a 2-bed end of terrace single family dwelling house, together with a single storey rear extension to existing house.

Application No.: TP/07/2047

Ward:Winchmore Hill

(Delegated - 06-Dec-2007 - REFUSED)

Appeal Type: Written Evidence

Appeal Decision: Appeal Allowed

Decision Date: 09-Jan-2009

Location: FLAT 3, 110, VICARS MOOR LANE, LONDON, N21 1BN

Proposal: Replacement windows to front of first floor (RETROSPECTIVE).

Application No.: TP/07/2141

Ward:Jubilee

(Delegated - 05-Mar-2008 - REFUSED)

Appeal Type: Written Evidence

Appeal Decision: Appeal Dismissed

Decision Date: 09-Jan-2009

Location: 217, HERTFORD ROAD, LONDON, N9 7ER

Proposal: First floor rear extension, handrails / balustrade to walkway at rear and single storey rear extension together with relocation of air conditioning unit at rear

Application No.: TP/07/2513

Ward:Enfield Highway

(Delegated - 19-Mar-2008 - REFUSED)

Appeal Type: Written Evidence

Appeal Decision: Appeal allowed subject to condition(s)

Decision Date: 05-Dec-2008

Location: 38, GREEN STREET, ENFIELD, EN3 7HQ

Proposal: Erection of a detached summer house at rear (RETROSPECTIVE).

Application No.: TP/07/2539

Ward:Southgate Green

(Delegated - 04-Dec-2008 - SECRETARY OF STATE DECISION)

Appeal Type: Written Evidence

Appeal Decision: Appeal Dismissed

Decision Date: 04-Dec-2008

Location: 52, ABBOTSHALL AVENUE, LONDON, N14 7JX

Proposal: Conversion of single family dwelling into 4 self contained flats (comprising 3 x 2-bed and 1 x 1-bed) involving a 2-storey side and part single, part 2-storey rear extension, rear dormer and 4 off street parking spaces at front with new vehicular access to Abbotshall Avenue.

Application No.: TP/08/0063

Ward: Bowes

(Delegated - 06-Mar-2008 - REFUSED)

Appeal Type: Written Evidence

Appeal Decision: Appeal Dismissed

Decision Date: 10-Dec-2008

Location: FLAT A, 24, UPSDELL AVENUE, LONDON, N13 6JN

Proposal: Rear conservatory (RETROSPECTIVE).

Application No.: TP/08/0066

Ward: Turkey Street

(Delegated - 18-Mar-2008 - REFUSED)

Appeal Type: Hearing

Appeal Decision: Appeal allowed subject to
condition(s)

Decision Date: 09-Jan-2009

Location: 1, TURKEY STREET, ENFIELD, EN3 5TT

Proposal: Single storey rear extension (RETROSPECTIVE).

Application No.: TP/08/0151

Ward: Town

(Delegated - 04-Mar-2008 - REFUSED)

Appeal Type: Written Evidence

Appeal Decision: Appeal Allowed

Decision Date: 22-Dec-2008

Location: 33, FORTY HILL, ENFIELD, EN2 9EQ

Proposal: Alterations to existing front boundary wall involving installation of 5 capping stones, 2 return walls and new vehicular access gate (RETROSPECTIVE).

Application No.: TP/08/0224

Ward:Enfield Highway

(Delegated - 24-Apr-2008 - REFUSED)

Appeal Type: Written Evidence

Appeal Decision: Appeal allowed subject to condition(s)

Decision Date: 05-Dec-2008

Location: 40, GREEN STREET, ENFIELD, EN3 7HQ

Proposal: Single storey detached out building to rear garden (RETROSPECTIVE)..

Application No.: TP/08/0229

Ward:Chase

(Delegated - 25-Mar-2008 - REFUSED)

Appeal Type: Written Evidence

Appeal Decision: Appeal Dismissed

Decision Date: 02-Dec-2008

Location: THE COTTAGE, CATTLEGATE ROAD, ENFIELD, EN2 8AZ

Proposal: Two storey extension to existing dwelling to provide a 5 bed single family dwelling and demolition and rebuild of outhouse to provide a double garage.

Application No.: TP/08/0270

Ward:Grange

(Delegated - 14-Apr-2008 - REFUSED)

Appeal Type: Written Evidence

Appeal Decision: Appeal Dismissed

Decision Date: 03-Dec-2008

Location: 56, VERA AVENUE, LONDON, N21 1RL

Proposal: Demolition of existing house and erection of a 2-storey dwelling house with accommodation in roof space, front and rear balconies together with associated vehicular access and parking.

Application No.: TP/08/0351

Ward:Grange

(Delegated - 15-May-2008 - REFUSED)

Appeal Type: Written Evidence

Appeal Decision: Appeal Dismissed

Decision Date: 08-Jan-2009

Location: 99, CECIL ROAD, ENFIELD, EN2 6TL

Proposal: Vehicular access.

Application No.: TP/08/0407

Ward:Cockfosters

(Delegated - 07-May-2008 - REFUSED)

Appeal Type: Inquiry

Appeal Decision: Appeal withdrawn

Decision Date: 15-Dec-2008

Location: 93, CAMLET WAY, BARNET, EN4 0NL

Proposal: Redevelopment of site to provide four detached 6-bed single family dwellinghouses (2 incorporating a basement area) with rooms in roof involving front and rear dormer windows, 2 detached double garages and formation of new access road from Camlet Way.

Application No.: TP/08/0448

Ward:Grange

(Delegated - 24-Apr-2008 - REFUSED)

Appeal Type: Written Evidence

Appeal Decision: Appeal allowed subject to condition(s)

Decision Date: 01-Dec-2008

Location: 97, THE CHINE, LONDON, N21 2EG

Proposal: Single storey side extension, first floor front extension with canopy to garage, first floor rear extension and extension to roof to raise ridge height, form gable end to rear and front and a front dormer window (revised scheme).

Application No.: TP/08/0610

Ward: Bush Hill Park

(Delegated - 03-Jul-2008 - REFUSED)

Appeal Type: Written Evidence

Appeal Decision: Appeal Dismissed

Decision Date: 08-Jan-2009

Location: 792, GREEN LANES, LONDON, N21 2SH

Proposal: Demolition of existing building and erection of 8 x 2-bed flats in a 4-storey block with balconies, glazed dome to roof and roof garden together with associated stacked car parking.

Application No.: TP/08/0861

Ward: Enfield Lock

(Delegated - 09-Jul-2008 - REFUSED)

Appeal Type: Written Evidence

Appeal Decision: Appeal Dismissed

Decision Date: 22-Dec-2008

Location: 71-73, ORDNANCE ROAD, ENFIELD, EN3 6AG

Proposal: Construction of canopy with roller shutters to front.

Application No.: TP/08/0867

Ward: Enfield Highway

(Delegated - 29-Jul-2008 - REFUSED)

Appeal Type: Hearing

Appeal Decision: Appeal withdrawn

Decision Date: 15-Dec-2008

Location: PUBLIC HOUSE, 116, GREEN STREET, ENFIELD, EN3 7JE

Proposal: Redevelopment of site to provide 13 residential units involving conversion of existing building into 6 flats (3 x 2-bed, 1 x 1-bed and 2 x studios) involving demolition of existing rear extension, erection of a new single storey rear extension and internal alterations, and erection of a 2-storey block at rear comprising 7 x 3-bed terraced houses with associated car parking and access.

Application No.: TP/93/0350/VAR4 Ward:Grange

(Delegated - 12-Sep-2008 - REFUSED)

Appeal Type: Written Evidence

Appeal Decision: Appeal Dismissed

Decision Date: 08-Jan-2009

Location: 23, THE GRANGWAY, LONDON, N21 2HB

Proposal: Variation of condition 02 of approval granted under appeal ref:
APP/Q5300/A/94/235993/P2 (TP/93/0350) to allow extension of opening hours as follows:
Monday - Saturday 11.00hrs to 23.00hrs and Sunday and Bank Holidays 11.00hrs to
22.30hrs.
